

# CITY OF POLSON COMMISSION AGENDA

COMMISSION CHAMBERS

August 17, 2015

7:00 P.M.

**1. CALL TO ORDER**

Mayor Knutson

**2. PLEDGE OF ALLEGIANCE**

Mayor Knutson

**3. APPROVAL OF PROPOSED AGENDA**

Mayor Knutson

**4. PUBLIC COMMENT ON SIGNIFICANT MATTERS TO THE PUBLIC **NOT** ON THE AGENDA (address items to the Chair. Commission takes no action on items discussed**

**5. CONSENT AGENDA**

- a. Additional June 2015 claims
- b. August 1-13, 2015 claims
- c. City Commission Meeting Minutes August 3, 2015
- d. Annual Contract Renewals  
City Attorney  
Assistant City Attorney
- e. Jensen Skyview Phase II Subdivision Time Extension

**6. CITY MANAGER COMMENTS**

City Manager Mark Shrives

**NEW BUSINESS**

**7. OATH OF OFFICE POLSON POLICE OFFICER GEORGE W. SIMPSON**

Mayor Heather Knutson

**8. APPROVE SPECIAL USE PERMIT #15-04 St. LUKE MEDICAL CLINIC**

Erica Wirtala

**9. APPROVE SPECIAL USE PERMIT #15-06 FRE POLSON, LLC-DIALYSIS CLINIC**

Erica Wirtala

**10. POLSON DEVELOPMENT CODE UPDATE**

City Manager Mark Shrives & Dave DeGrandpre

**11. UPDATE/DECISION REGARDING TEST WELL**

City Manager Mark Shrives, Tony Porrazzo, Engineer Roger Noble

**12. RECESS**

**EXECUTIVE SESSION**

**(PER MCA CODE 2-3-203)**

**13. PERSONNEL-MCA CODE 2-3-203 (3)** THE PRESIDING OFFICER OF ANY MEETING MAY CLOSE THE MEETING DURING THE TIME THE DISCUSSION RELATES TO A MATTER OF INDIVIDUAL PRIVACY AND THEN IF AND ONLY IF THE PRESIDING OFFICER DETERMINES THAT THE DEMANDS OF INDIVIDUAL PRIVACY CLEARLY EXCEED THE MERITS OF PUBLIC DISCLOSURE. THE RIGHT OF INDIVIDUAL PRIVACY MAY BE WAIVED BY THE INDIVIDUAL ABOUT WHOM THE DISCUSSION PERTAINS AND, IN THAT EVENT, THE MEETING MUST BE OPEN.

**14. RE-CONVENE**

**15. ADJOURN**

The City of Polson encourages public participation in its public meetings and hearings. In doing so the City holds its meetings in handicapped accessible facilities. Any persons desiring accommodations for a handicapping condition should call the City Clerk at 883-8203 for more information.

For doc #s from 121564 to 121701

5a.

Fund	Department Name (Account)	Vendor #/Name	Description	Amount
1000 General All-Purpose Fund	420540 Land Use	4458 SHARI A. JOHNSON, PE	PLANNING-TACO BELL S	66.00
1000 General All-Purpose Fund	420540 Land Use	4458 SHARI A. JOHNSON, PE	PLANNING-WALMART LS	132.00
1000 General All-Purpose Fund	430240 Road and Street	4458 SHARI A. JOHNSON, PE	STREETS-SKYLINE ISSU	132.00
1000 General All-Purpose Fund	430240 Road and Street	001041 RODY CONSTRUCTION	STREETS-2 DOORS & OP	6,100.00
1000 General All-Purpose Fund	430240 Road and Street	4928 BLACK DIAMOND BUILDERS	STREETS-REMOVE DOORS	1,800.00
			Total for Fund:	8,230.00
2020 Police Municipal Services	420140 Crime Control and	3025 FIRST BANKCARD	POLICE-OPERATIONS EX	1,214.64
			Total for Fund:	1,214.64
2720 Police Donations	420140 Crime Control and	3025 FIRST BANKCARD	POLICE-TRAVEL MEAL	64.63
			Total for Fund:	64.63
2730 K-9 Donation Fund	420140 Crime Control and	3068 WALMART COMMUNITY CREDIT	POLICE-K-9 SUPPLIES	22.98
			Total for Fund:	22.98
2820 Gas Apportionment Tax	430240 Road and Street	2547 TREASURE STATE CONCRETE	STREETS-PAVING MATER	7,103.60
2820 Gas Apportionment Tax	430240 Road and Street	2547 TREASURE STATE CONCRETE	STREETS-PAVING MATER	3,563.00
2820 Gas Apportionment Tax	430240 Road and Street	2547 TREASURE STATE CONCRETE	STREETS-PAVING MATER	3,467.80
2820 Gas Apportionment Tax	430240 Road and Street	2547 TREASURE STATE CONCRETE	STREETS-PAVING MATER	317.10
			Total for Fund:	14,451.50
5010 Golf Fund	460446 Golf Course -	4458 SHARI A. JOHNSON, PE	GOLF MAINT-CART STOR	660.00
5010 Golf Fund	460446 Golf Course -	4458 SHARI A. JOHNSON, PE	GOLF MAINT-IRRIGATIO	396.00
5010 Golf Fund	460446 Golf Course -	001145 MISSOULA TEXTILE SERVICES	GOLF MAINT-LAUNDRY	19.62
5010 Golf Fund	460446 Golf Course -	001725 LAKE COUNTY SOLID WASTE	GOLF MAINT-BAL OF IN	14.12
5010 Golf Fund	460447 Golf Course - Pro Shop	001145 MISSOULA TEXTILE SERVICES	GOLF PRO-LAUNDRY	14.82
5010 Golf Fund	460447 Golf Course - Pro Shop	4240 POLSON RV RESORT	GOLF PRO-SITE MAP AD	165.00
5010 Golf Fund	460460 G. C. Restaurant O & M	001145 MISSOULA TEXTILE SERVICES	GOLF REST-LAUNDRY	42.27
5010 Golf Fund	460460 G. C. Restaurant O & M	4240 POLSON RV RESORT	GOLF REST-SITE MAP A	110.00
			Total for Fund:	1,421.83
5210 Water Fund	430500 Water Utilities	4458 SHARI A. JOHNSON, PE	WATER-GIS ENG SVCS	99.00
5210 Water Fund	430500 Water Utilities	3025 FIRST BANKCARD	WATER-S4 SCREEN PROT	9.98
5210 Water Fund	430500 Water Utilities	3025 FIRST BANKCARD	WATER-BUSINESS LUNCH	16.62
5210 Water Fund	430550 Transmission and	4458 SHARI A. JOHNSON, PE	WATER-TSEP WATER PRO	924.00
5210 Water Fund	430550 Transmission and	3411 WESTERN STATES EQUIPMENT	WATER-PORT GEN MAIN	403.42
			Total for Fund:	1,453.02
5310 Sewer Fund	430600 Sewer Utilities	4458 SHARI A. JOHNSON, PE	SEWER-GIS ENG SVCS	99.00
5310 Sewer Fund	430600 Sewer Utilities	3025 FIRST BANKCARD	SEWER-S4 SCREEN PROT	9.97
5310 Sewer Fund	430600 Sewer Utilities	3025 FIRST BANKCARD	SEWER-BUSINESS LUNCH	16.63
5310 Sewer Fund	430630 Collection and	4458 SHARI A. JOHNSON, PE	SEWER-BACKUPS ENG SV	1,056.00
5310 Sewer Fund	430630 Collection and	3411 WESTERN STATES EQUIPMENT	SEWER-PORT GEN MAIN	403.42
5310 Sewer Fund	430630 Collection and	3411 WESTERN STATES EQUIPMENT	SEWER-WEST SHORE MAI	1,025.60

08/14/15  
08:20:37

City of Polson  
Claim Details by Fund, Account  
For the Accounting Period: 6/15

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Report ID: AP100Z

For doc #s from 121564 to 121701

Fund	Department Name (Account)	Vendor #/Name	Description	Amount
5310 Sewer Fund	430630 Collection and	3411 WESTERN STATES EQUIPMENT	SEWER-DUCHARME MAINT	1,107.97
5310 Sewer Fund	430640 Treatment and Disposal	4458 SHARI A. JOHNSON, PE	SEWER-WWTP ENG SVCS	264.00
			Total for Fund:	3,982.59
5390 Stormwater Project Fund	430235 Storm Drainage	4458 SHARI A. JOHNSON, PE	STORM-DRYWELLS 4TH A	396.00
			Total for Fund:	396.00
			Total:	31,237.19



08/14/15  
08:23:38

City of Polson  
Claim Details by Fund, Account  
For the Accounting Period: 8/15

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Report ID: AP100Z

For doc #s from 121568 to 121716

56.

Fund	Department Name (Account)	Vendor #/Name	Description	Amount
1000 General All-Purpose Fund	214550 Deposits Payable -	999999 ANDERSON RADIO	FACILITIES-CLN DEPOS	100.00
1000 General All-Purpose Fund	410360 Municipal Court	000023 GULL PRINTING	COURT-ENVELOPES	109.95
1000 General All-Purpose Fund	410360 Municipal Court	1925 VALLEY BUSINESS SYTEMS	COURT-SHARED 2030 CL	42.00
1000 General All-Purpose Fund	410360 Municipal Court	2074 VERIZON WIRELESS	COURT-J HART ANDROID	40.01
1000 General All-Purpose Fund	410360 Municipal Court	3428 A. DOUG OLSON	COURT-CITY JUDGE SER	596.75
1000 General All-Purpose Fund	410360 Municipal Court	000281 BISHOP INSURANCE SERVICE	POLICE-J HART NOTRY	40.00
1000 General All-Purpose Fund	410360 Municipal Court	4375 SECRETARY OF STATE	POLICE-J HART NTRY R	25.00
1000 General All-Purpose Fund	410360 Municipal Court	000282 QUILL CORPORATION	COURT-SHARED HP INK	75.03
1000 General All-Purpose Fund	410360 Municipal Court	000282 QUILL CORPORATION	COURT-ACCUSTAMP	10.31
1000 General All-Purpose Fund	410400 Administrative Services	4743 WEX BANK	ADMIN-C.M. VEHICLE F	108.03
1000 General All-Purpose Fund	410400 Administrative Services	2074 VERIZON WIRELESS	ADMIN.-CTY MNGR CELL	29.72
1000 General All-Purpose Fund	410500 Financial Services	4743 WEX BANK	FINANCE-FUEL 7/1-31/	29.48
1000 General All-Purpose Fund	411100 Legal Services	4820 M RICHARD GEBHARDT	FACILITIES-CONTRCT C	2,000.00
1000 General All-Purpose Fund	411100 Legal Services	4850 MORIGEAU LAW PLLC	FACILITIES-CITY ATTY	2,000.00
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	4831 COTE AND ASSOCIATES, CPAs	FACILITIES-90% OF AU	4,009.50
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	000023 GULL PRINTING	FACILITIES-ENVELOPES	439.90
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	1925 VALLEY BUSINESS SYTEMS	FACILITIES-3232 CLN/	318.00
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	1925 VALLEY BUSINESS SYTEMS	FACILITIES-TIA 305 C	35.00
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	4922 PURCHASE POWER	FACILITIES-POSTAGE	100.00
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	000044 REPUBLIC SERVICES #889	FACILITIES-WASTE DIS	55.50
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	4062 WEST COAST PAPER	FACILITIES-PAPER PRO	78.81
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	000784 J.P. COOKE COMPANY	FACILITIES-2016 PET	125.50
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	000341 MMIA-LIABILITY PROGRAM	FY 15/16 LIABILITY A	85,564.00
1000 General All-Purpose Fund	411200 Facilities (Shared Costs)	2750 MMIA-PROPERTY PROGRAM	FY15/16 PROP ASSESSM	33,254.00
1000 General All-Purpose Fund	420140 Crime Control and	1879 THE UPS STORE	POLICE-SHIPMENT	11.07
1000 General All-Purpose Fund	420140 Crime Control and	4743 WEX BANK	POLICE-FUEL 7/1-31/1	3,122.75
1000 General All-Purpose Fund	420140 Crime Control and	1925 VALLEY BUSINESS SYTEMS	POLICE-SHARED 2030 C	42.00
1000 General All-Purpose Fund	420140 Crime Control and	000296 PIER 93	POLICE-WATER, ICE	27.06
1000 General All-Purpose Fund	420140 Crime Control and	000023 GULL PRINTING	POLICE-BOOTH BUSINES	59.95
1000 General All-Purpose Fund	420140 Crime Control and	2234 ACE HARDWARE/ TREMPER'S	POLICE-ENTRY KNOB, K	17.99
1000 General All-Purpose Fund	420140 Crime Control and	2234 ACE HARDWARE/ TREMPER'S	POLICE-FASTENERS	3.50
1000 General All-Purpose Fund	420140 Crime Control and	3614 THE CAR WASH/GROGAN'S	POLICE-VEH WASH 7/1-	39.01
1000 General All-Purpose Fund	420140 Crime Control and	2074 VERIZON WIRELESS	POLICE-I PHONES	260.25
1000 General All-Purpose Fund	420140 Crime Control and	4849 JOHN DEERE FINANCIAL	POLICE-K-9 SUPPLIES	14.99
1000 General All-Purpose Fund	420140 Crime Control and	4849 JOHN DEERE FINANCIAL	POLICE-INVESTIGATION	331.97
1000 General All-Purpose Fund	420140 Crime Control and	000282 QUILL CORPORATION	POLICE-SHARED HP INK	75.03
1000 General All-Purpose Fund	420140 Crime Control and	000282 QUILL CORPORATION	POICE-SHREDDER	37.51
1000 General All-Purpose Fund	420400 Fire Protection and	4159 REXEL INC, d/b/a PLATT	FIRE-INDUSTRIAL BATT	43.56
1000 General All-Purpose Fund	420400 Fire Protection and	4743 WEX BANK	FIRE-FUEL 7/1-31/15	350.07
1000 General All-Purpose Fund	420400 Fire Protection and	2234 ACE HARDWARE/ TREMPER'S	FIRE-ASSORTED PRODUC	14.49
1000 General All-Purpose Fund	420400 Fire Protection and	2234 ACE HARDWARE/ TREMPER'S	FIRE-FATMAX RULE TAP	31.99
1000 General All-Purpose Fund	420400 Fire Protection and	2234 ACE HARDWARE/ TREMPER'S	FIRE-LAM PADLOCK	19.99
1000 General All-Purpose Fund	420400 Fire Protection and	000190 MOTOROLA COMMUNICATIONS	FIRE-RADIO REPAIR	78.00
1000 General All-Purpose Fund	420400 Fire Protection and	000724 COSNER COMTECH	FIRE-BATTERY PACK	315.00
1000 General All-Purpose Fund	420400 Fire Protection and	4329 BISHOP SIGNWORKS	FIRE-REFLCTIV LETTER	20.00
1000 General All-Purpose Fund	420400 Fire Protection and	000037 GENERAL FIRE APPARATUS,	FIRE-UNIFORM	706.95
1000 General All-Purpose Fund	420400 Fire Protection and	001541 L.N. CURTIS & SONS	FIRE-ROLLER & SPOOL	1,230.12
1000 General All-Purpose Fund	420540 Land Use	4835 SANDS SURVEYING, INC	PLANNING-CONTRACT PL	2,470.00
1000 General All-Purpose Fund	420540 Land Use	000080 FLATHEAD NEWSPAPER GROUP	PLANNING-SUP ADVERTI	22.00
1000 General All-Purpose Fund	430240 Road and Street	2520 CITY OF POLSON BUILDING	STREETS-GARAGE DOOR	83.25
1000 General All-Purpose Fund	430240 Road and Street	4927 KALMONT DISTRIBUTORS INC	STREETS-GARAGE DOOR	644.00
1000 General All-Purpose Fund	430240 Road and Street	000044 REPUBLIC SERVICES #889	STREET-SHARED WASTE	27.50

For doc #s from 121568 to 121716

Fund	Department Name (Account)	Vendor #/Name	Description	Amount
1000 General All-Purpose Fund	430240 Road and Street	000185 SUPER 1 FOODS	STREETS-WATER	10.86
1000 General All-Purpose Fund	430240 Road and Street	2074 VERIZON WIRELESS	STREETS-CELL PHONE S	159.54
1000 General All-Purpose Fund	460430 Parks	3025 FIRST BANKCARD	PARKS-TOILET ASSEMBL	97.70
1000 General All-Purpose Fund	460430 Parks	000044 REPUBLIC SERVICES #889	PARKS-CITY PARKS WAS	432.15
1000 General All-Purpose Fund	460430 Parks	4743 WEX BANK	PARKS-FUEL 7/1-31/15	808.29
1000 General All-Purpose Fund	460430 Parks	3068 WALMART COMMUNITY CREDIT	PARKS-2 GAL BUCKETS/	20.31
1000 General All-Purpose Fund	460430 Parks	2234 ACE HARDWARE/ TREMPER'S	PARKS-PIPE, COUPLING	143.41
1000 General All-Purpose Fund	460430 Parks	2234 ACE HARDWARE/ TREMPER'S	PARKS-SKUNK ODOR REM	25.98
1000 General All-Purpose Fund	460430 Parks	2074 VERIZON WIRELESS	PARKS-CELL PHONE SER	152.29
1000 General All-Purpose Fund	460430 Parks	4520 BIG SKY REAL ESTATE	PARKS-MOREHEAD LANE	350.00
1000 General All-Purpose Fund	460430 Parks	3963 ALWAYS MOVING	PARKS-RVRSIDE L/S PU	150.00
1000 General All-Purpose Fund	460430 Parks	3963 ALWAYS MOVING	PARKS-RENT 2 TOILETS	100.00
Total for Fund:				141,737.02
2020 Police Municipal Services	420140 Crime Control and	000044 REPUBLIC SERVICES #889	POLICE-SHARED WASTE	27.49
2020 Police Municipal Services	420140 Crime Control and	4571 DASH MEDICAL GLOVES	POLICE-EXAM GLOVES	123.80
2020 Police Municipal Services	420140 Crime Control and	2074 VERIZON WIRELESS	POLICE-AIRCARDS & NO	520.17
2020 Police Municipal Services	420140 Crime Control and	001071 ST. PATRICK HOSPITAL	POLICE-CR #215CR0016	307.00
2020 Police Municipal Services	420140 Crime Control and	001071 ST. PATRICK HOSPITAL	POLICE Cr #215CR0017	672.00
Total for Fund:				1,650.46
2350 Local Government Study	411870 Local Government Review	000080 FLATHEAD NEWSPAPER GROUP	LOCAL GOV STUDY-REIV	10.50
Total for Fund:				10.50
2394 Building Code Enforcement	420500 Protective Inspections	4743 WEX BANK	BUILDING-FUEL 7/1-31	59.87
2394 Building Code Enforcement	420500 Protective Inspections	2074 VERIZON WIRELESS	BUILDING-CELL PHONE	32.38
Total for Fund:				92.25
2395 Tree Fund	480150 Tree Conservation	000011 MISSION VALLEY POWER	PARKS-WEST SHORE SPO	31.18
Total for Fund:				31.18
2703 Fire Memb. Donation Fund	420400 Fire Protection and	3068 WALMART COMMUNITY CREDIT	FIRE-FUN POPS	4.96
2703 Fire Memb. Donation Fund	420400 Fire Protection and	3068 WALMART COMMUNITY CREDIT	FIRE-BOTTLED WATER	124.50
Total for Fund:				129.46
2720 Police Donations	365011 Don. Police Svc/Hoop Fest	4710 FLATHEAD LAKE 3 ON 3	POLICE-REFUND PART O	1,000.00
Total for Fund:				1,000.00
2820 Gas Apportionment Tax	430240 Road and Street	4910 O'REILLY AUTOMOTIVE INC	STREETS-ASSORT PRODU	41.97
2820 Gas Apportionment Tax	430240 Road and Street	4743 WEX BANK	STREETS-FUEL 7/1-31/	823.78
2820 Gas Apportionment Tax	430240 Road and Street	2234 ACE HARDWARE/ TREMPER'S	STREETS-PICK UP BODY	6.99
2820 Gas Apportionment Tax	430240 Road and Street	2234 ACE HARDWARE/ TREMPER'S	STREETS-ASSORTED MIS	45.33
2820 Gas Apportionment Tax	430240 Road and Street	2234 ACE HARDWARE/ TREMPER'S	STREETS-GLV 2" PLUG	5.99
2820 Gas Apportionment Tax	430240 Road and Street	2234 ACE HARDWARE/ TREMPER'S	STREETS-PRODUCT RETU	-2.00
2820 Gas Apportionment Tax	430240 Road and Street	000046 BEACON TIRE CENTER	STREETS-TRAILER TIRE	11.00

For doc #s from 121568 to 121716

Fund	Department Name (Account)	Vendor #/Name	Description	Amount
			Total for Fund:	933.06
5010 Golf Fund	214600 Retainage Payable	4929 BJORN JOHNSON	GOLF PRO-RETAINAGE	-3,952.50
5010 Golf Fund	460446 Golf Course -	000048 MIDLAND IMPLEMENT CO.	GOLF MAINT-TORO SEAL	67.04
5010 Golf Fund	460446 Golf Course -	4849 JOHN DEERE FINANCIAL	GOLF MAINT-CMO CAM C	89.99
5010 Golf Fund	460446 Golf Course -	000644 CITY OF POLSON WATER	GOLF MAINT-COURSE RE	44.13
5010 Golf Fund	460446 Golf Course -	000644 CITY OF POLSON WATER	GOLF MAINT-COURSE RE	61.48
5010 Golf Fund	460446 Golf Course -	000644 CITY OF POLSON WATER	GOLF MAINT-COURSE RE	111.40
5010 Golf Fund	460446 Golf Course -	000644 CITY OF POLSON WATER	GOLF MAINT-COURSE RE	268.00
5010 Golf Fund	460446 Golf Course -	000080 FLATHEAD NEWSPAPER GROUP	GOLF MAINT-OLDE 9 IR	105.00
5010 Golf Fund	460446 Golf Course -	2074 VERIZON WIRELESS	GOLF MAINT-CELL PHON	331.82
5010 Golf Fund	460446 Golf Course -	1864 CHS/MOUNTAIN WEST	GOLF MAINT-FUEL	671.55
5010 Golf Fund	460446 Golf Course -	2234 ACE HARDWARE/ TREMPER'S	GOLF MAINT-VALVE GAT	14.99
5010 Golf Fund	460446 Golf Course -	2234 ACE HARDWARE/ TREMPER'S	GOLF MAINT-BUSHING	3.98
5010 Golf Fund	460446 Golf Course -	2234 ACE HARDWARE/ TREMPER'S	GOLF MAINT-HOSE SHUT	33.96
5010 Golf Fund	460446 Golf Course -	000044 REPUBLIC SERVICES #889	GOLF MAINT-WASTE DIS	122.44
5010 Golf Fund	460446 Golf Course -	001145 MISSOULA TEXTILE SERVICES	GOLF MAINT-LAUNDRY	11.66
5010 Golf Fund	460446 Golf Course -	001145 MISSOULA TEXTILE SERVICES	GOLF MAINT-LAUNDRY	22.68
5010 Golf Fund	460446 Golf Course -	001145 MISSOULA TEXTILE SERVICES	GOLF MAINT-LAUNDRY	11.66
5010 Golf Fund	460446 Golf Course -	001145 MISSOULA TEXTILE SERVICES	GOLF MAINT-LAUNDRY	19.86
5010 Golf Fund	460447 Golf Course - Pro Shop	000076 LINK'S MANAGEMENT, INC.	GOLF PRO-PRO CONTRCT	9,932.98
5010 Golf Fund	460447 Golf Course - Pro Shop	4856 PRESTIGE FLAG	GOLF PRO-ASSORT FLAG	285.40
5010 Golf Fund	460447 Golf Course - Pro Shop	001518 INSTY PRINTS	GOLF PRO-GREEN FEE	38.70
5010 Golf Fund	460447 Golf Course - Pro Shop	001518 INSTY PRINTS	GOLF PRO-CART RENTAL	26.75
5010 Golf Fund	460447 Golf Course - Pro Shop	4395 ANDERSON	GOLF PRO-JULY ADVERT	196.00
5010 Golf Fund	460447 Golf Course - Pro Shop	000644 CITY OF POLSON WATER	GOLF PRO-PRO SHOP WA	283.90
5010 Golf Fund	460447 Golf Course - Pro Shop	2234 ACE HARDWARE/ TREMPER'S	GOLF PRO-WASP&HORNET	8.98
5010 Golf Fund	460447 Golf Course - Pro Shop	2234 ACE HARDWARE/ TREMPER'S	GOLF PRO-55 GAL TRAS	19.98
5010 Golf Fund	460447 Golf Course - Pro Shop	2234 ACE HARDWARE/ TREMPER'S	GOLF PRO-AA BATTERIE	33.98
5010 Golf Fund	460447 Golf Course - Pro Shop	2234 ACE HARDWARE/ TREMPER'S	GOLF PRO-ASST MISC P	20.97
5010 Golf Fund	460447 Golf Course - Pro Shop	3866 OFFICE MAX CONTRACT INC.	GOLF PRO-OFFICE SUPP	18.10
5010 Golf Fund	460447 Golf Course - Pro Shop	4906 PRISTINE WINDOWS	GOLF PRO-WINDOW CLEA	232.00
5010 Golf Fund	460447 Golf Course - Pro Shop	000044 REPUBLIC SERVICES #889	GOLF PRO-WASTE DISPO	110.55
5010 Golf Fund	460447 Golf Course - Pro Shop	001145 MISSOULA TEXTILE SERVICES	GOLF PRO-LAUNDRY	4.00
5010 Golf Fund	460447 Golf Course - Pro Shop	001145 MISSOULA TEXTILE SERVICES	GOLF PRO-LAUNDRY	4.00
5010 Golf Fund	460447 Golf Course - Pro Shop	001145 MISSOULA TEXTILE SERVICES	GOLF PRO-LAUNDRY	5.78
5010 Golf Fund	460447 Golf Course - Pro Shop	001145 MISSOULA TEXTILE SERVICES	GOLF PRO-LAUNDRY	10.63
5010 Golf Fund	460447 Golf Course - Pro Shop	3866 OFFICE MAX CONTRACT INC.	GOLF PRO-OFFICE SUPP	27.39
5010 Golf Fund	460447 Golf Course - Pro Shop	4453 ZIP LOCAL/PDC PAGES	GOLF PRO-ADVERTISEME	264.00
5010 Golf Fund	460447 Golf Course - Pro Shop	4804 MARK SHRIVES	GOLF PRO-REIBRS LITI	30.00
5010 Golf Fund	460447 Golf Course - Pro Shop	000010 CENTURYLINK	GOLF PRO-TELEPHONE S	22.95
5010 Golf Fund	460447 Golf Course - Pro Shop	999999 ALPHAGRAPHICS	GOLF PRO-RECEIPT BOO	510.00
5010 Golf Fund	460447 Golf Course - Pro Shop	4929 BJORN JOHNSON	GOLF PRO-GOLF CAR ST	79,050.00
5010 Golf Fund	460447 Golf Course - Pro Shop	4929 BJORN JOHNSON	GOLF PRO-1% CGR	-750.98
5010 Golf Fund	460447 Golf Course - Pro Shop	4425 DEPARTMENT OF REVENUE	GOLF PRO-1% CGR	750.98
5010 Golf Fund	460448 Golf Course - Carts	001594 JOHNSON DISTRIBUTING	GOLF PRO-NEW GOLF CA	161,700.00
5010 Golf Fund	460448 Golf Course - Carts	1864 CHS/MOUNTAIN WEST	GOLF PRO-FUEL	1,038.51
5010 Golf Fund	460448 Golf Course - Carts	001594 JOHNSON DISTRIBUTING	GOLF MAINT-CLUB CAR	40.60
5010 Golf Fund	460450 Golf Course Restaurant	3233 FOOD SERVICES OF AMERICA	GOLF REST-ASST FOODS	641.49
5010 Golf Fund	460450 Golf Course Restaurant	3233 FOOD SERVICES OF AMERICA	GOLF REST-PRODUCT RE	-215.40
5010 Golf Fund	460450 Golf Course Restaurant	3233 FOOD SERVICES OF AMERICA	GOLF REST-CREDIT	-51.28

For doc #s from 121568 to 121716

Fund	Department Name (Account)	Vendor #/Name	Description	Amount
5010 Golf Fund	460450 Golf Course Restaurant	3233 FOOD SERVICES OF AMERICA	GOLF REST-ASSORTED F	430.50
5010 Golf Fund	460450 Golf Course Restaurant	3233 FOOD SERVICES OF AMERICA	GOLF REST-KITCHEN SU	40.81
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-FOOD SUPPL	14.22
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-KITCHEN SU	8.58
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-FOOD SUPPL	8.82
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-KITCHEN SU	4.25
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-FOOD SUPPL	7.19
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-FOOD SUPPL	32.23
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-FOOD SUPPL	11.66
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-KITCHEN SU	3.38
5010 Golf Fund	460450 Golf Course Restaurant	000185 SUPER 1 FOODS	GOLF REST-KITCHEN SU	6.49
5010 Golf Fund	460450 Golf Course Restaurant	3427 ZIP BEVERAGE	GOLF REST-ASST BEERS	95.60
5010 Golf Fund	460450 Golf Course Restaurant	3427 ZIP BEVERAGE	GOLF REST-ASST BEERS	553.20
5010 Golf Fund	460450 Golf Course Restaurant	4754 PEPSI-COLA BOTTLING OF	GOLF REST-ASST BEVER	317.46
5010 Golf Fund	460450 Golf Course Restaurant	3233 FOOD SERVICES OF AMERICA	GOLF REST-FOOD SUPPL	277.68
5010 Golf Fund	460450 Golf Course Restaurant	3233 FOOD SERVICES OF AMERICA	GOLF REST-KITCHEN SU	33.34
5010 Golf Fund	460450 Golf Course Restaurant	4480 SYSCO MONTANA, INC.	GOLF REST-FOOD SUPPL	699.60
5010 Golf Fund	460450 Golf Course Restaurant	3447 SUMMIT BEVERAGE	GOLF REST-ASST BEERS	610.14
5010 Golf Fund	460450 Golf Course Restaurant	3447 SUMMIT BEVERAGE	GOLF REST-JOCKEY BOX	360.00
5010 Golf Fund	460450 Golf Course Restaurant	3447 SUMMIT BEVERAGE	GOLF REST-CREDIT	-1,400.00
5010 Golf Fund	460450 Golf Course Restaurant	3447 SUMMIT BEVERAGE	GOLF REST-ASST BEERS	540.04
5010 Golf Fund	460450 Golf Course Restaurant	3447 SUMMIT BEVERAGE	GOLF REST-JOCKEY BOX	-350.00
5010 Golf Fund	460450 Golf Course Restaurant	3447 SUMMIT BEVERAGE	GOLF REST-ASST BEERS	847.71
5010 Golf Fund	460450 Golf Course Restaurant	3447 SUMMIT BEVERAGE	GOLF REST-JOCKEY BOX	360.00
5010 Golf Fund	460450 Golf Course Restaurant	3233 FOOD SERVICES OF AMERICA	GOLF REST-FOOD SUPPL	516.68
5010 Golf Fund	460450 Golf Course Restaurant	3427 ZIP BEVERAGE	GOLF REST-ASST BEERS	266.55
5010 Golf Fund	460460 G. C. Restaurant O & M	000644 CITY OF POLSON WATER	GOLF REST-RESTAURANT	283.90
5010 Golf Fund	460460 G. C. Restaurant O & M	2234 ACE HARDWARE/ TREMPER'S	GOLF REST-ASST MISC	61.51
5010 Golf Fund	460460 G. C. Restaurant O & M	2234 ACE HARDWARE/ TREMPER'S	GOLF REST-WEBER GRIL	19.98
5010 Golf Fund	460460 G. C. Restaurant O & M	000044 REPUBLIC SERVICES #889	GOLF REST-WASTE DISP	110.55
5010 Golf Fund	460460 G. C. Restaurant O & M	001145 MISSOULA TEXTILE SERVICES	GOLF REST-LAUNDRY	22.50
5010 Golf Fund	460460 G. C. Restaurant O & M	001145 MISSOULA TEXTILE SERVICES	GOLF REST-LAUNDRY	49.40
5010 Golf Fund	460460 G. C. Restaurant O & M	001145 MISSOULA TEXTILE SERVICES	GOLF REST-LAUNDRY	19.35
5010 Golf Fund	460460 G. C. Restaurant O & M	001145 MISSOULA TEXTILE SERVICES	GOLF REST-LAUNDRY	49.71
5010 Golf Fund	460460 G. C. Restaurant O & M	3306 POLSON PROPANE	GOLF REST-PROPANE FU	502.12
5010 Golf Fund	460460 G. C. Restaurant O & M	999999 DARK HORSE	GOLF REST-ENTERTAINM	500.00
Total for Fund:				258,245.25
5210 Water Fund	214100 Refunds Payable	999999 ROBIN JAEGER	WATER-DEPOSIT REFND	22.72
5210 Water Fund	430500 Water Utilities	3025 FIRST BANKCARD	WATER-BP CLASS REGIS	500.00
5210 Water Fund	430540 Purification and	000101 MONTANA ENVIRONMENTAL	WATER-HARDNESS NITRA	168.00
5210 Water Fund	430540 Purification and	000101 MONTANA ENVIRONMENTAL	WATER-CHLORINE, COLI	96.00
5210 Water Fund	430550 Transmission and	4289 GC SYSTEMS, INC.	WATER-REPAIR KIT	289.05
5210 Water Fund	430550 Transmission and	000044 REPUBLIC SERVICES #889	WATER-SHARED WASTE D	27.50
5210 Water Fund	430550 Transmission and	4743 WEX BANK	WATER-FUEL 7/1-31/15	254.94
5210 Water Fund	430550 Transmission and	2234 ACE HARDWARE/ TREMPER'S	WATER-VARIETY MISC P	101.94
5210 Water Fund	430550 Transmission and	2234 ACE HARDWARE/ TREMPER'S	WATER-VALVE GATE	39.99
5210 Water Fund	430550 Transmission and	2234 ACE HARDWARE/ TREMPER'S	WATER-LITHUM BATTERY	7.99
5210 Water Fund	430550 Transmission and	2234 ACE HARDWARE/ TREMPER'S	WATER-VARIETY MISC P	53.96
5210 Water Fund	430550 Transmission and	2234 ACE HARDWARE/ TREMPER'S	WATER-VARIETY MISC P	9.27
5210 Water Fund	430550 Transmission and	2234 ACE HARDWARE/ TREMPER'S	WATER-MALLEABLE BIND	29.99

For doc #s from 121568 to 121716

Fund	Department Name (Account)	Vendor #/Name	Description	Amount
5210 Water Fund	430550 Transmission and	2234 ACE HARDWARE/ TREMPER'S	WATER-VARIETY MISC P	40.52
5210 Water Fund	430550 Transmission and	2234 ACE HARDWARE/ TREMPER'S	WATER-LIQ BLEACH	4.98
5210 Water Fund	430550 Transmission and	3614 THE CAR WASH/GROGAN'S	WATER-VEH WASH 7/1-3	5.00
5210 Water Fund	430550 Transmission and	2665 MERCER WELDING & REPAIR	WATER-HYDRANT EXTENS	127.65
5210 Water Fund	430550 Transmission and	2074 VERIZON WIRELESS	WATER-CELL PHONE SER	170.93
5210 Water Fund	430570 Customer Accounting and	1780 BLACK MOUNTAIN SOFTWARE,	WATER-ANNUAL U B MAI	1,697.00
5210 Water Fund	430570 Customer Accounting and	000005 POSTMASTER	WATER-BILLING RESERV	315.00
Total for Fund:				3,962.43
5310 Sewer Fund	430600 Sewer Utilities	3025 FIRST BANKCARD	SEWER-AW CLASS REGIS	500.00
5310 Sewer Fund	430630 Collection and	000011 MISSION VALLEY POWER	SEWER-WEST SHORE	129.04
5310 Sewer Fund	430630 Collection and	4743 WEX BANK	SEWER-FUEL 7/1-31/15	797.56
5310 Sewer Fund	430630 Collection and	2234 ACE HARDWARE/ TREMPER'S	SEWER-FASTENERS, PVC	25.89
5310 Sewer Fund	430630 Collection and	2234 ACE HARDWARE/ TREMPER'S	SEWER-EJECT SEWAGE P	209.99
5310 Sewer Fund	430630 Collection and	2234 ACE HARDWARE/ TREMPER'S	SEWER-VARIETY MISC P	16.84
5310 Sewer Fund	430630 Collection and	3614 THE CAR WASH/GROGAN'S	SEWER-VEH WASH 7/1-3	5.00
5310 Sewer Fund	430630 Collection and	4756 J&M TRANSPORTATION	SEWER-COURIER SERVIC	36.00
5310 Sewer Fund	430630 Collection and	4756 J&M TRANSPORTATION	SEWER-COURIER SERVIC	36.00
5310 Sewer Fund	430630 Collection and	4756 J&M TRANSPORTATION	SEWER-COURIER SERVIC	36.00
5310 Sewer Fund	430630 Collection and	2074 VERIZON WIRELESS	SEWER-CELL PHONE SER	170.93
5310 Sewer Fund	430630 Collection and	000101 MONTANA ENVIRONMENTAL	SEWER-AMMON, BOD, CO	187.00
5310 Sewer Fund	430630 Collection and	000101 MONTANA ENVIRONMENTAL	SEWER-LAB BOD	47.00
5310 Sewer Fund	430630 Collection and	000101 MONTANA ENVIRONMENTAL	SEWER-LAB BOD	47.00
5310 Sewer Fund	430630 Collection and	000101 MONTANA ENVIRONMENTAL	SEWER-LAB BOD	47.00
5310 Sewer Fund	430640 Treatment and Disposal	3025 FIRST BANKCARD	FINANCE-AS BLUE SUB	10.00
5310 Sewer Fund	430640 Treatment and Disposal	3025 FIRST BANKCARD	FINANCE-AS TRAVEL LO	106.93
5310 Sewer Fund	430640 Treatment and Disposal	4769 XYLEM DEWATERING	SEWER-REPAIR LIFTSTA	1,629.50
5310 Sewer Fund	430640 Treatment and Disposal	000044 REPUBLIC SERVICES #889	SEWER-SHARED WASTE D	27.49
5310 Sewer Fund	430640 Treatment and Disposal	4353 ARDRENE SARRACINO	SEWER-AS TRAVEL MEAL	69.00
5310 Sewer Fund	430640 Treatment and Disposal	000630 QUALITY CONTROL SERVICES	SEWER-ON SITE SERV B	400.00
5310 Sewer Fund	430640 Treatment and Disposal	2183 DOWL HKM ENGINEERING	SEWER-TASK ORDER #6	46,962.50
5310 Sewer Fund	430640 Treatment and Disposal	4769 XYLEM DEWATERING	SEWER-RENTAL 7/17-23	2,406.50
5310 Sewer Fund	430640 Treatment and Disposal	3036 DEPARTMENT OF	SEWER-BLK 24 SEWR RP	360.00
5310 Sewer Fund	430670 Customer Accounting and	1780 BLACK MOUNTAIN SOFTWARE,	SEWER-ANNUAL U B MAI	1,697.00
5310 Sewer Fund	430670 Customer Accounting and	000005 POSTMASTER	SEWER-BILLING RESERV	315.00
5310 Sewer Fund	430670 Customer Accounting and	000341 MMIA-LIABILITY PROGRAM	SEWER-GC2015036797 R	750.00
Total for Fund:				57,061.17
Total:				464,852.78

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Fund/Account	Amount
1000 General All-Purpose Fund	
101000	\$141,737.02
2020 Police Municipal Services Levy	
101000	\$1,650.46
2350 Local Government Study Commission	
101000	\$10.50
2394 Building Code Enforcement	
101000	\$92.25
2395 Tree Fund	
101000	\$31.18
2703 Fire Memb. Donation Fund	
101000	\$129.46
2720 Police Donations	
101000	\$1,000.00
2820 Gas Apportionment Tax Fund	
101000	\$933.06
5010 Golf Fund	
101000	\$258,245.25
5210 Water Fund	
101000	\$3,962.43
5310 Sewer Fund	
101000	\$57,061.17
Total:	\$464,852.78

# CITY OF POLSON CITY COMMISSION MEETING

5C

Commission Chambers

August 3, 2015

7:00 p.m.

**ATTENDANCE:** Mayor Heather Knutson, Commissioners Campbell, Donovan, Erickson, Siler, Southerland, and Turner. City Manager Mark Shrives, City Clerk Cora Pritt

**OTHERS PRESENT** (who voluntarily signed in): Dennis DeVries, Elsa Duford, Kevin Johnson, Bonnie Manicke, and Lee Manicke

**CALL TO ORDER: (00:03)** Mayor Knutson called the meeting to order. The Pledge of Allegiance was recited. Roll call was taken.

**APPROVAL OF PROPOSED AGENDA (00:45) - Commissioner Turner motion to approve the proposed agenda. Commissioner Erickson second.** City Commission discussion: none Public comment: none **VOTE: Unanimous Motion carried**

**PUBLIC COMMENT ON SIGNIFICANT MATTERS TO THE PUBLIC NOT ON THE AGENDA (1:12)-Ken Coopmans**, commented on the MRZD area of 11<sup>th</sup>. There are approximately 80 families that live on this street and the road has yet to be improved. There are 25-35 school children who walk in the middle of the street because there are no sidewalks or paths. There is now another multi-family development proposed for the street. There are concerns for safety and water/sewer. There needs to be updates made to the street. City Manager Shrives commented on the proposed development. It would consist of 8 4 plexes which are permitted per the current Polson Development Code. Commissioner Campbell commented that this area has a previous history of drainage issues. **Lee Manicke** commented that the City does have some say when the developer brings in the plans for plan review to get a building permit. The City has some say at that point. **Brian Pittsley** commented on the road access the proposed development is going to use. The access is going to go right down the property line. This would essentially land lock the back piece of property. City Manager Shrives commented that the access would be off 11<sup>th</sup>.

**CONSENT AGENDA (12:05) - (a).** Additional June 2015 Claims (b). July 15-31, 2015 Claims, (c) City Commission Meeting Minutes July 20, 2015, (d). Approve City Liquor License for Mackenzie River Company & Walgreens. **Commissioner Campbell motion to approve the Consent Agenda. Commissioner Siler second.** City Commission discussion: none Public Comment: **Elsa Duford** commented that the Condition of Approval that was missing from the Staff Report for Ridgewater Dr was not included in the minutes. It is Condition #48, "The 15<sup>th</sup> Ave East connection is not to be used. Added by the City Commission on May 2," It goes on to state that Phase VI does not touch the 15<sup>th</sup> Ave E. connection. Commission Siler commented that there is a permanent barrier put there and that there is no intention of coming onto 15<sup>th</sup>. **VOTE: Unanimous Motion carried**

**CITY MANAGER COMMENTS (16:42) –** City Manager Shrives commented on the following: The Economic Development Council will be holding a Public Hearing on August 19, 2015 at 6:30 p.m. in the Polson Middle School lunchroom. Please email Cindy Dooley if you are going to attend. A legal opinion from the City Attorney was distributed on the process of disposing of surplus property. It could possibly be sold to individual citizens. The subject will be discussed at a future Commission meeting. No bids were received for the Olde 9 Golf Course Irrigation project. There was a discussion with the Bond Council about the City serving as the General Contractor. This is a viable option due to the

funding that is being put together for the project. There needs to be a decision due to the timeline. There doesn't need to be a vote, just a consensus. Commissioner Campbell asked if it couldn't be put off for another season. City Manager Shrives commented that it has been put off for about 20 seasons. The City would bring on temporary skilled employees to do the work. Commissioner Turner asked who would be the over-seer of the project. City Manager Shrives answered that the Architect Engineer Greg Baer would be on site and City Golf Maintenance Superintendent Pat Nowlen would fill in when Greg wasn't available. Commissioners Campbell, Turner, and Siler stated that it sounded risky. City Manager Shrives commented that the City will go back and re-work it for next year. Finally, potential good news on the test Well. Drilling has been successful. The company drilled down 295 feet and hit two lenses of water. At this point there is roughly 300 gallons of water. The Engineer asked if the City wanted to continue to drill down to 500 feet with the expectation that if we are successful then we will have potentially another 150 gallons of water per minute. There would be an additional cost of \$11,000.00 to drill deeper. To complete the additional drilling would be an additional \$50,000.00. The original budget for this project was \$151,000.00 so the City would be well within the budget to do the additional drilling. Commissioner Campbell asked about the volume pump when the testing was being done. The more pump, the more contaminants are brought in. City Manager Shrives commented that he will confirm the flow test and the numbers. There needs to be a consensus before we move forward on this. Commissioner Campbell asked that the City Manager find out what flow he took the samples and the concentration of iron and manganese. There may be a special meeting called because the drilling equipment can't be just sitting there.

**APPOINTMENT OF NEW CITY JUDGE (43:29)**-agenda item was presented by City Manager Shrives. The City advertised for the position and received three applications. The applications were received from Dennis DeVries, Mick Holien, and Ken Pitt. Mr. Pitt was unavailable for the interview process due to being out of state. The Interview Committee consisted of City Manager Mark Shrives, City Commissioner Jill Southerland, Chief of Police Wade Nash, and Assistant City Attorney Josh Morigeau. The committee recommends appointing Dennis DeVries to a four year term as the City of Polson City Judge. **Commissioner Campbell motion to appoint Dennis DeVries as the City of Polson City Judge. Term of Appointment to be four years. City Manager to negotiate and finalize employment agreement. Second Commissioner Southerland.** City commission discussion: none  
Public Comment: none **VOTE: Unanimous Motion carried**

#### **RIDGEWATER SUBDIVISION PHASE 5 SUBDIVISION IMPROVEMENT**

**AGREEMENT(45:52)** -City Manager Mark Shrives presented this agenda item. There were Subdivision Improvement Agreements in place for Phase 5 & Phase 6 of Ridgewater Subdivision. The funds were being held until completion of required public improvements. During the City inspection of Phase 6 it was determined that all conditions had been completed. All of the improvements for Phase 5 have not been completed. Based on the improvements to be completed for Phase 5 the total will be \$45,187.00 to be held until July 1, 2016. **Commissioner Turner motion to approve the attached subdivision improvement agreement. Commissioner Donovan second.** City Commission discussion: none  
Public Comment: none **VOTE: Unanimous Motion carried**

**WASTE WATER TREATMENT PROJECT BUDGET UPDATE (49:21)** DOWL/HKM Engineer Kevin Johnson gave the following power point presentation:



City of Polson

Water Resource Recovery Facility  
Project Update  
August 3, 2015

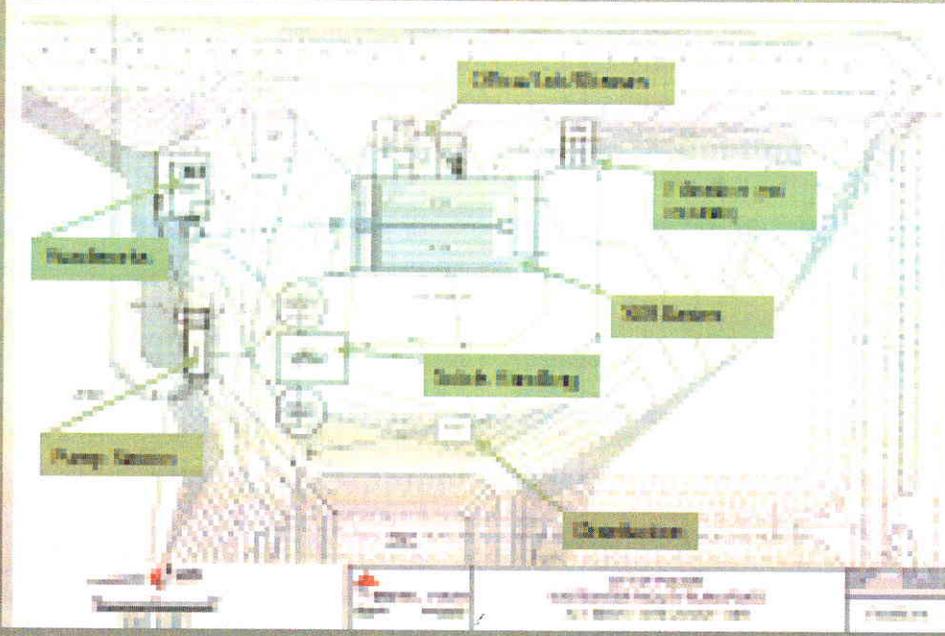


## Update – Agenda/Outline

- Review Treatment Facility Plan/Concept
- Current Concept and Cost Updates
- Funding Update
- Moving Ahead & Schedule



# Selected Alternative Review- (Sequencing Batch Reactor) – Site Plan



# Selected Alternative Review Sequencing Batch Reactor

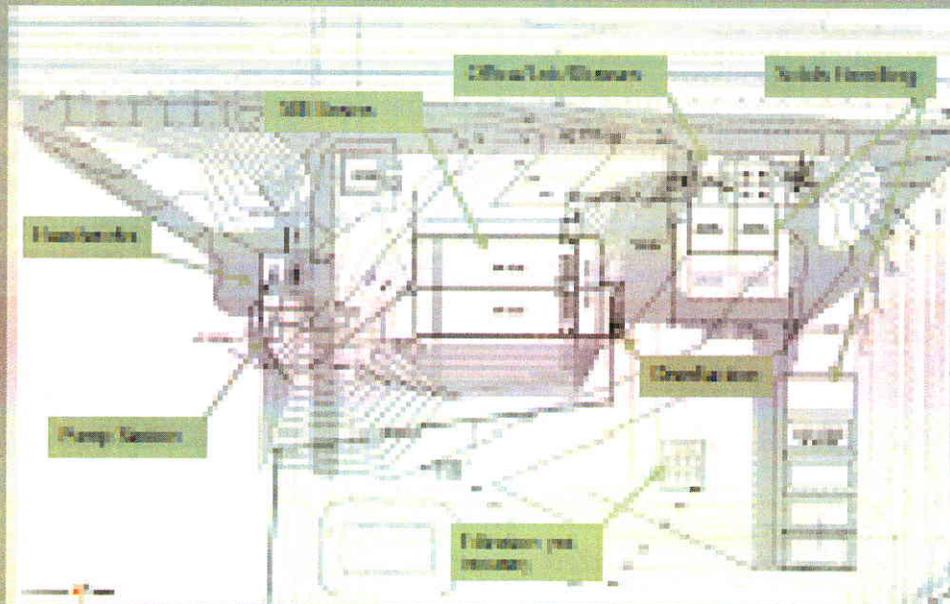


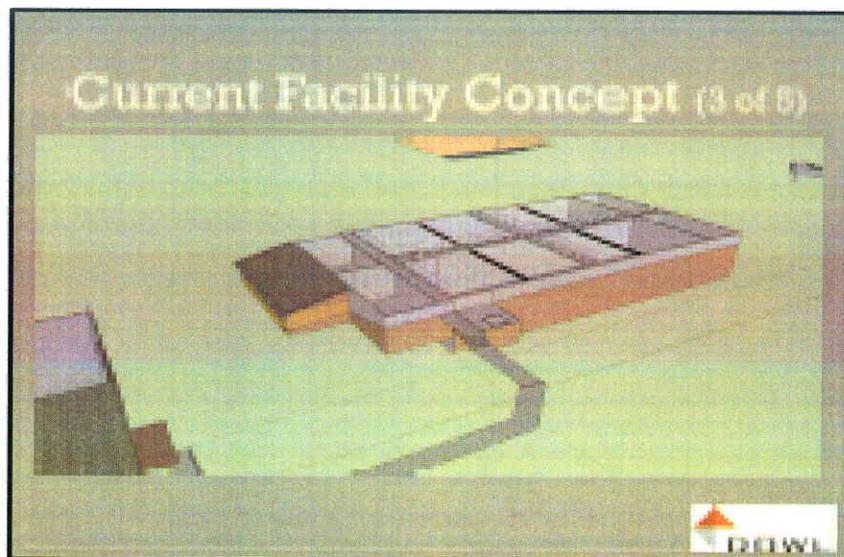
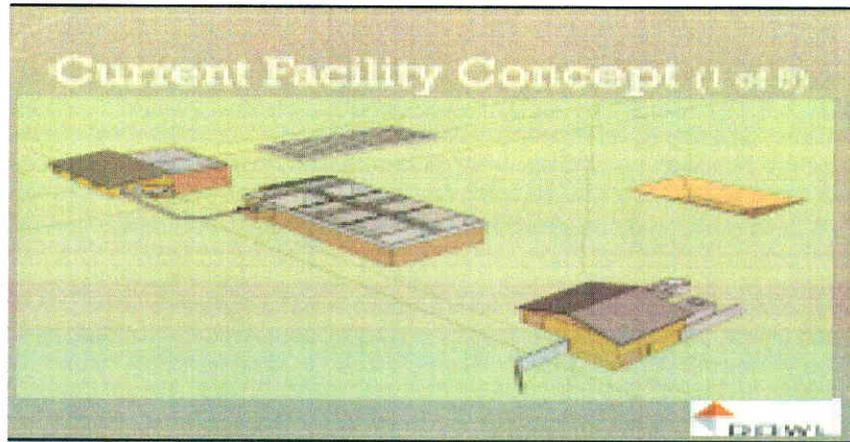
## Alternative Cost Summary (April 2014)

	Fixed Costs - Capital		
	Alternative 1 (2014) Revenue (\$MM)	Alternative 2 (2014) Revenue (\$MM)	Alternative 3 (2014) Revenue (\$MM)
Capital Cost - Construction	\$1,504,000	\$1,200,000	\$1,504,000
Capital Cost - Vehicle Handling	\$1,870,000	\$1,870,000	\$1,870,000
Capital Cost - Biological Process	\$1,411,500	\$1,411,500	\$1,411,500
Capital Cost - Utilities	50	\$1,544,400	50
Capital Cost - Land Acquisition	200,000	200,000	241,000
<b>Capital Costs - Total</b>	<b>\$4,985,500</b>	<b>\$5,325,900</b>	<b>\$5,026,500</b>



## Current Facility Concept SIR - Site Plan







## Status of Funding

- TSEP Grant (\$750,000)
- RRGL Grant (\$125,000)
- CDBG Grant (Award Notices Pending ?)
- SRF "Grant" (\$400,000), Loan Forgiveness
- WRDA Grant Possible – Amount ???
- Local Funds (\$1.2 Million)
- SRF Loan (\$14.3 Million)



## Funding Steps

- Environmental Assessment
  - 30-day Publication
- Edits/Revisions to PER for SRF Funding Program
  - Approval Needed by Council Resolution
  - Procure Commitment from SRF
- TSEP/RRGL Startup Conditions
  - Project Budget, Schedule, PM Plan
  - Execute Funding Contracts



## Moving Forward

### Pre-Design Report

- Concept Designs Reviewed with City
- Need Concurrence on Current Concept (Basis of Final Design)

### Headworks Equipment Procurement Complete

- Design of Headworks Can Proceed
- Design of Control/Solids Process Building Can Proceed
- Execute Final Design/CA Amendment



## Moving Forward

### SBR (Biological Process) Procurement

- Need DEC Comments (In Review)
- Advertise for Bids (30 day Advertisement)
- Evaluate Proposals, Interview, Select
- Design of SBR Can Then Proceed



## Moving Forward

Final Design Contract; Bidding, CA,  
Startup (Now to April, 2016)  
Submit to DEQ – March 1, 2016

- 60-day DEQ Review
- 30-days; Comment Response and DEQ Approval
- 30-day Bid Period (Bidding June/July ???)
- 30-days to Contracts; Notice to Proceed
- 18-month Construction Period



## Upcoming City Actions

- Adopt PER Revisions (Resolution)
- TSEP/RRGL/SRF (Execute Funding Agreements)
- Bid/Award Project for Sludge Removal (Cell #1)
- Contract Amendment for Final Design/Bidding/CA
- Bid/Select SBR Manufacturer



City of Polson

Water Resource Recovery Facility

Questions?



(01:42:40) Mayor Knutson asked the Commission if there were any items that needed full minutes or will action minutes suffice. The general consensus was all to be Action Minutes.

**Adjourn. (01:45:45) Commissioner Southerland motion to adjourn. Commissioner Campbell second. Commission discussion: none Public Comment: none VOTE: Unanimous Motion carried.**

**ADJOURN: 8:45 p.m.**

\_\_\_\_\_  
**Heather Knutson, Mayor**

**ATTEST:** \_\_\_\_\_  
**Cora E. Pritt, City Clerk**

CITY OF POLSON  
TIME-EXTENSION REQUEST

5e.

TIF 80  
# 12522  
pd 6.24.15  
Fee: \$200.00 ✓

Date: 6/24/15

Name of Applicant: Steven Jensen  
Contact Number: 406-253-3366  
Address: Box 396 Polson MT 59860

Project Name: Sky view Sub phase II  
Project Address: Sky view  
What was original approval for: 50 Lots  
Original Date granted: Oct 15, 2007  
Original Date expires: \_\_\_\_\_

Reason for Extension: Poor Economy  
\_\_\_\_\_  
\_\_\_\_\_

- Zoning Conformance Review done: NA
- Building permits review done: NA
- Ground breaking started: 2006
- What has been done to date: 90% sewer & 50% water.
- All fees paid: Yes

Length of Extension: Request 5 years to expire 2020

Request submitted to: Beth Smith Date: 6/24/2015

**City of Polson  
City Commission Agenda Item Summary**

Agenda Item Number: 8  
Applicant Number: #SUP15-04  
Meeting Date: 8/17/2015  
Staff contact: Erica Wirtala, AICP, City of Polson Planner

**AGENDA ITEM SUMMARY:** Consideration of a SUP application proposed by St. Luke Community Healthcare. The property is known as Lot 4C-1 of Ridgewater, Phase 1 Commercial Subdivision, located in Section 11, T22N, R20W, P.M.M., Lake County, Montana.

**BACKGROUND:** St. Luke's Healthcare would like to construct a convenient care /physical therapy facility. It will have driveway access to Ridgewater Drive and pedestrian access from Highway 93. The facility will connect to public water and sewer systems. The applicant has submitted an estimate that there might be 360 vehicle trips generated throughout the course of the business day. The building is 9,872 square feet in size and there are 50 associated parking spaces. There is ample landscaping to meet with Appendix F (buffers between the facility and the street), and a monument sign is proposed for the east side of the property. The subject property is approximately 1.5 acres in size.

**STAFF RECOMMENDATION:** The Planning Staff recommends to the City Commission to approve the SUP Request.

**PUBLIC COMMENT:** There has been no comments made regarding the proposal at this time.

**SUGGESTED MOTION:** "\_\_\_\_\_ make a motion to approve the SUP request for a Convenient care/physical therapy facility on behalf of St. Luke's healthcare along with the Conditions of Approval as described in the attached staff report."

**ATTACHMENTS:** Planning Staff Report prepared by Erica Wirtala-City of Polson planner and the SUP application package as prepared by Rex Thompson of OZ Architects.

**Staff Report for the  
City/County Planning Board (CCPB)  
City Council Chambers, Tuesday, August 11, 2015 @ 6:00 p.m. for a Special  
Use Permit on the proposed St. Luke's Convenient Care Medical Clinic**

**GENERAL INFORMATION:**

Applicant: St. Luke Community Hospital  
107 6<sup>th</sup> Ave S.W.  
Ronan, MT 59864  
(406) 676-4441

Technical Assistance: OZ Architects  
531 N. Higgins  
Missoula, MT 59802  
(406) 728-3013

Applicant Number: SUP#15-04  
Application Type: Special Use Permit for new development in HCZD  
Date Received Application: 6/11/2015  
Date of Site Review: 5/21/2015

**APPLICABLE REGULATIONS:**

- Polson Development Code,
- Polson Growth Policy
- HCZD: Highway Commercial Zoning District
- Montana Dept of Environmental Quality (Stormwater and MFE standards)
- Polson Building Code

**PUBLIC NOTICE:**

Lake County Leader: 7/23/2015  
Notices for mailing to adjoining property owners: 7/20/2015  
Staff Report completed: July 28, 2015

**WRITTEN PUBLIC COMMENTS:** None as of the writing of this report.

**PROPOSAL:** St. Luke Community Hospital is requesting a Special Use Permit to construct a "Convenient Care/Physical Therapy" medical facility for outpatient use. This proposal includes the construction of a 9,872 square foot building and associated 46 parking spaces, and four additional handicapped accessible spaces for a total of 50 parking spaces. There is also an enclosed garbage facility and access to sidewalks on both sides of the lots (Highway 93 and Ridgewater Drive). The primary access to the facility is from Ridgewater Drive via a single driveway. A St. Luke sign will be installed at the entrance of the property.

**PROPERTY DESCRIPTION:**

The property can be described as Lot 4C-1 in the Ridgewater Phase 1 subdivision in Section 11, Township 22N, Range 20 West, Lake County. The property is zoned HCZD and is the suitable zoning district for the proposed use. Per the Polson Development Code, a Special Use Permit approval is required on all new developments in HCZD. The property is approximately an acre and a half in size.

This proposal does not meet the definitions of a Large-Scale Development because it will not produce more than 1000 vehicle trips per day.

**Review Process:**

The Polson City-County Planning Board shall conduct a public hearing on this request and make a recommendation to the Polson City Commission. Once the public hearing is closed, the City County Planning Board will evaluate the request under the terms of the Polson Development Code for the Highway Commercial Zoning District standards and specifications, the Special Use Permit process and other portions of the PDC as applicable.

The Polson City-County Planning Board shall make a recommendation to approve, deny or conditionally approve the SUP to the Polson City Commission. The City Commission is the permit-issuing authority for all Special Use Permits within the City Limits.

If the Special Use Permit is denied, the CCPB and/or City Commission shall specify the codes, standards, regulations, and/or public input that the applicants have not met and note them under "Findings of Fact". Consideration of a Special Use Permit application may be tabled for no more than 35 days.

**ANALYSIS:**

-The applicants are proposing to design and construct a medical "Convenient Care/Physical Therapy" outpatient facility.

-The applicants had a Site Review Meeting on 5/21/2015 where Planning, Streets and the Fire Department were present to review and comment on the proposal. Comments from that Site Review meeting included: requiring that water and sewer curbstops be located on the property, any damage to the existing street will need to be repaired. Ingress and egress must meet current street standards. The Fire Chief requested "Miami" rolled curbs. Street trees are required as per the PDC. There is a proposed access from the bike/ped path off of Highway 93. There is a 12' landscape buffer. **78% lot coverage**

-The engineer's guidebook to vehicle trips per day (ITE) notes that for convenient/urgent/walk-in type care facilities of this square footage of gross floor area typically sees 361 vehicle trips per day. This number is spread out during the course of the business day. Typical hours for a convenient care facility are from 7

am to 6 pm, Monday through Saturday. 361 spread over the course of eleven hours is approximately 32 trips per hour.

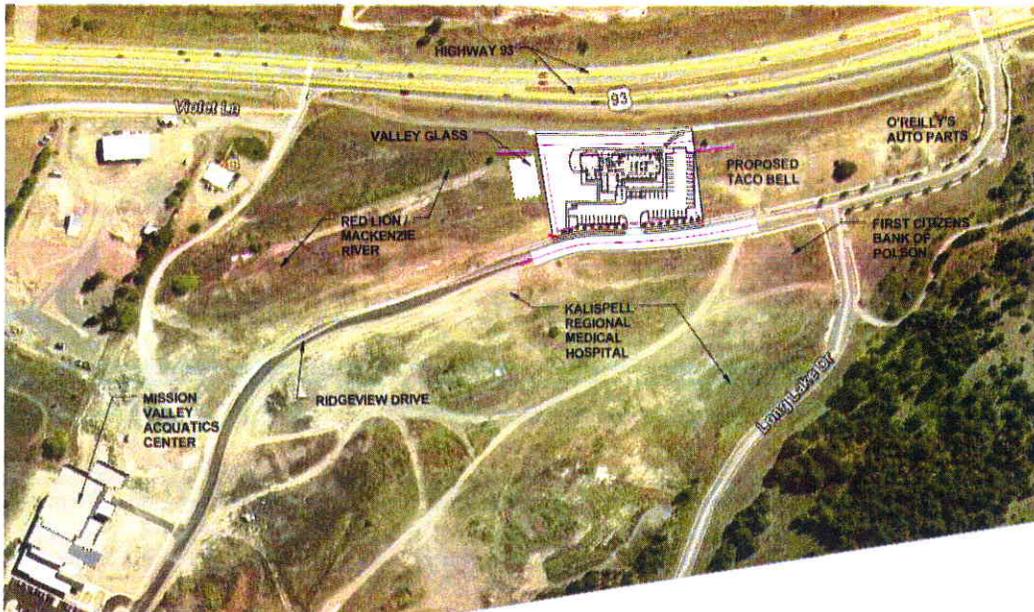
-There are approximately 3-6 employees necessary to keep this facility in operation during the day. There would most likely be two rotating shifts during the course of the day. Employees would have to arrive earlier than opening and stay later to close. There might be approximately 4 employees per shift; administration, doctor, nurses, and physical therapists.

-There is a sign proposed with the name and logo of St. Luke's on the easterly side of the site. Some identifying logo and text would also be on the building itself. A sign application and fee will be required. The sign's lights would be dimmed when the facility is closed for business.

-Existing views of the Lake will not be impacted with this development and this development is not a lakeshore development for mandated view consideration.

-The Polson Development Code defines the Highway Commercial Zoning District as a place for commercial uses that rely on easy automobile access. The subject property is a location that provides convenient automobile access and circulation from Highway 93 onto Ridgewater Drive. Highway 93 is a four lane highway that includes turn lanes and a traffic signal. A Traffic Impact Study (TIS) was completed for the Ridgewater Subdivision Preliminary Plat in 2005 and at that time, the TIS recommended a traffic signal and intersection improvements at the highway approach. All of those improvements were completed. The location appears to be a good fit for a convenient care facility as it is within walking distance of the new aquatic center, the soon-to-be completed soccer field complex, the Red Lion hotel, and other service, retail and professional services located in this general area.

-The Polson Development Code requires 5 parking spaces for each 1000 square feet of gross floor area in health services. There are 50 parking spaces shown on the plans for the facility, four of them are indicated for handicapped access. This plan is in compliance with the PDC standard.



-The applicants provided a landscape plan to comply with the buffer requirements of Appendix F of the Polson Development Code.

-There will be exterior lighting on the building, within the signage and in the parking lot for the safety/security of patrons and employees. This should be shielded downward to contain light pollution and the lights within the signage on a timer to completely shut off during closed hours. There could be additional lighting that is set on a motion sensor near the garbage enclosure.

**FINDINGS OF FACTS:**

Primary Review Criteria

**Effect on Local Services:**

1. The developer will connect to municipal water and sewer systems. The owners pay the cost of connecting and extending. St. Luke's will pay regular water and sewer charges, impact and hook-up fees.
2. The development will receive law enforcement services from the Polson Police Department and fire protection services from the Polson Fire Department.
3. The applicants will develop the driveway from Ridgewater Drive and all of the parking and interior circulation. Directional signage and address signs, as well as a stop sign at the driveway intersection will be required.
4. St. Luke's Convenient Care will be required to contract with the local solid waste removal company for regularly scheduled garbage pickup.

**Effect on the Natural Environment:**

1. The owners are responsible for managing post development runoff on-site and releasing it at pre-development rates. Applicable erosion control measures shall be installed, such as hay bales or silt fences, prior any groundbreaking as necessary.
2. Stormwater management, drainage and grading plans shall be submitted, and reviewed and approved by the City Engineer and Water/Sewer Superintendent prior to construction. No development shall channel surface or irrigation water on to another lot or property.
3. The owners are responsible for weed control and shall prevent the proliferation of weed growth within the property boundaries and their spread to neighboring properties.

**Effect on Public Health and Safety:**

Based on available information such as FEMA Floodplain Maps and Cadastral Maps, the development does not appear to be at risk to natural hazards such as flooding, high winds, wildfire, nor potential man-made hazards such as high voltage power lines, high-pressure gas lines, or past industrial/railroad use.

**Easements for Utilities:**

1. Public utilities are near the property and will be extended at the applicants' expense.
2. Legal and physical access is provided by Ridgewater Drive.

**Conformance to Adopted Growth Policy:**

The development proposal conforms to the Goals, Policies and Objectives as outlined within the Polson Growth Policy adopted by the City of Polson, 2006.

**Staff Recommendations on this Special Use Permit:**

After review of the application materials, site plans and site review discussion, the planning staff finds this application meets the requirements of the Polson Development Code and recommends approval of the Special Use Permit with the following Conditions. These Conditions, along with any other Conditions imposed by the Planning Board or City Commissioners, must be met for the approval of this Special Use Permit and to receive a Certificate of Occupancy.

- 
1. Any further modifications or additions to the submitted plans shall be reviewed and approved by the Polson Building and Planning Department. If at any time the applicants, their heirs or assigns propose a major change of use or expansion of the structure/site that is not herein proposed and designated, they shall obtain the necessary applications/permits/approvals through the City processes.

2. Applicants shall apply for and receive building permits from the City of Polson prior to the start of construction of the convenient care facility. Permits shall be on site prior to ground breaking.
3. Applicants shall receive an MFE approval from the City of Polson and the Department of Environmental Quality.
4. During the construction period, erosion control measures such as hay bales or silt fences shall be installed prior to ground disturbance to prevent any water runoff or debris from entering any road or neighboring properties.
5. Applicants' drainage and stormwater runoff management plans shall be reviewed and approved by the City Engineer and completed before a Certificate of Occupancy is issued. It may be necessary to complete a SWPP from Montana Department of Environmental Quality.
6. The applicant shall develop the driveway for ingress/egress from Ridgewater Drive including all of the parking lots and interior circulation. The driveway will be constructed to a minimum of 20' width.
7. Clear vision triangles shall exist at the intersection of all roads and driveway ingress and egress locations. The driveway/road intersections shall be designed to safely accommodate the ingress and egress of larger vehicles such as fire trucks and large rv's, which include the "Miami rollovers" as requested by the Fire Chief. The intersections between the driveways and Ridgewater shall be ADA compliant.
8. A stop sign shall be installed at the driveway intersection at Ridgewater Drive.
9. The applicants shall work directly with the Fire Chief and adhere to Fire Code regulations and requirements.
10. The site shall receive an address from the City of Polson's Planning and Building Department staff. The address numbers shall be displayed so that they are clearly visible from the street in 4" reflective numbers.
11. A 12' landscape buffer shall be installed along the Ridgewater streetscape that meets the requirements and standards of the Polson Development Code Appendix F.
12. A sign permit and associated fees will be required for the proposed signage.
13. It is preferred that the lighting on the building and parking lots be shielded downward to reduce the light pollution from the lot.
14. The applicant shall work with the City Water and Sewer department during the installation of the service lines. The applicant shall notify the City and pay

appropriate fees for hook-ups before a building permit is issued. Should cuts into the City roads be necessary, performance bonds shall be posted prior to work commencing and state/local permits as per the City of Polson's excavation ordinance.

15. Applicants are responsible for any applicable Impact Fees as determined by the current impact fee schedule (Resolution #2015-17) or any new resolution adopted before an application for a Building Permit is made.
16. LP gas tank, mechanical, plumbing and electrical permits are separate applications/fees. All of these permits are issued by the City of Polson, except for the electrical permit, which is issued by the State of Montana.
17. The City of Polson reserves the right to revoke this permit, terminate or enjoin the use of the structure or property, should the applicants, their heirs or assigns violate the standards of the Polson Development Code, or any Condition on this permit.
18. This Special Use Permit is valid for construction to be completed within two years from the date of issuance. The permit may be extended for one additional year if the applicants request an extension of time prior to the expiration date.

The Commission is encouraged to visit the site, ask questions and request additional information (if necessary) from the Planning Department before the hearing.

**DISCLAIMER:** The Planning Department is an advisory agent and mediator between Boards/Commission and the applicant. The Planning Department covers the applicants' adherence to the Polson Development Code, the Polson Growth Policy and other governmental standards. The Planning Department is not responsible and accepts no responsibility for the applicants' proposals, designs, plans/maps, calculations, etc. or lack thereof.



106 1st Street E., Polson, MT 59860  
 406-883-8200 Fax 406-883-8238  
 www.cityofpolson.com



**APPLICATION FOR  
 SPECIAL USE PERMIT**

PROPOSED USE: Commercial (St. Luke Coinvent Care / Physical Therapy)

OWNER(S) OF RECORD

Name: St. Luke Community Hospital

Mailing Address: 107 6th Ave. S.W.

City/State/Zip: Ronan MT 59864 Phone: 406-676-4441

*PERSON(S) AUTHORIZED TO REPRESENT THE OWNER(S) AND TO WHOM ALL  
 CORRESPONDENCE IS TO BE SENT.*

Name: Dennis Greeno / Rex Thompson at OZ Architects

Mailing Address: 531 N. Higgins Avenue

City/State/Zip: Missoula, MT. 59802 Phone: 406-728-3013

LEGAL DESCRIPTION OF PROPERTY (Refer to Property Records)

Street Address: Ridgewater Drive Sec. 11 Town-ship 22 Range No. 20

Subdivision Name: Ridgewater Phase 1 Tract No(s). \_\_\_\_\_ Lot No(s). 4C-1 Block No. \_\_\_\_\_  
 Amended 3C & 4C

1. Zoning District and Zoning Classification in which use is proposed:  
HCZD (Highway Commercial Zoning District)

2. Attach a plan of the affected lot which identifies the following items:

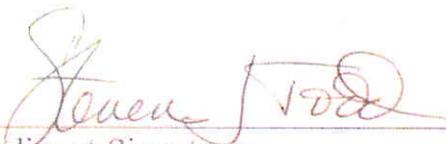
- |    |                                                |                                     |
|----|------------------------------------------------|-------------------------------------|
| a. | Surrounding land uses.                         | <u>SUP1 &amp; SUBDIV. RENDERING</u> |
| b. | Dimensions and shape of lot.                   | <u>WGM SITE SURVEY</u>              |
| c. | Topographic features of lot.                   | <u>WGM SITE SURVEY</u>              |
| d. | Size(s) and location(s) of existing buildings  | <u>SUP1 &amp; WGM SITE SURVEY</u>   |
| e. | Size(s) and location(s) of proposed buildings. | <u>SUP2</u>                         |
| f. | Existing use(s) of structures and open areas.  | <u>SUP2</u>                         |
| g. | Proposed use(s) of structures and open areas.  | <u>SUP2</u>                         |
| h. | Existing and proposed landscaping and fencing. | <u>SUP2</u>                         |

**APPLICATION FOR SPECIAL USE PERMIT Cont.**

3. On a separate sheet of paper, discuss the following topics relative to the proposed use:
- |                                                    |          |
|----------------------------------------------------|----------|
| a. Traffic flow and control.                       | ATTACHED |
| b. Access to and circulation within the property.  | "        |
| c. Off-street parking and loading.                 | "        |
| d. Refuse and service areas.                       | "        |
| e. Utilities.                                      | "        |
| f. Screening and buffering.                        | "        |
| g. Signs, yards and other open spaces.             | "        |
| h. Height, bulk and location of structures.        | "        |
| i. Location of proposed open space uses.           | "        |
| j. Hours and manner of operation.                  | "        |
| k. Noise, light, dust, odors, fumes and vibration. | "        |
4. Attach supplemental information for proposed uses that have additional requirements (consult Planner).

During the course of review of the application and after final determination by the City of Polson, the Owner/Developer hereby agrees to hold the City of Polson harmless from all claims, expenses, costs and attorney's fees that may arise as a result of the actions or process taken by the Owner/Developer. This "hold harmless" responsibility does not indemnify the City from its acts of negligence, violation of codes or ordinances, or defense of its codes or ordinances.

I hereby certify under penalty of perjury and the laws of the State of Montana that the information submitted herein, on all other submitted forms, documents, plans or any other information submitted as a part of this application, to be true, complete, and accurate to the best of my knowledge. Should any information or representation submitted in connection with this application be incorrect or untrue, I understand that any approval based thereon may be rescinded, and other appropriate action taken. The signing of this application signifies approval for the Polson Planning staff to be present on the property for routine monitoring and inspection during the approval and development process.

  
Applicant Signature

  
Date





Application for Special Use Permit  
St. Luke Community Healthcare

Application for Special Use Permit Question #3 response:

A. Traffic Flow and Control:

- a. Primary access to and from the site will be off of Ridgewater Drive.
- b. The existing curb cut will be used for site access.
- c. ITE Land Use 720 calculates the trip ends at 361 per day.

B. Access to and circulation within the property:

- a. There is two way traffic within the site, with dead ends at either end of the site. The southern end would be staff parking, with the westerly side accommodating patients. The existing curb cut is located roughly in the center of the property / parking.

C. Off-street parking and loading:

- a. All parking is located within the site.
- b. 50 total parking stalls are required, staff parking will be located at the southern end of the property.
- c. Although no ADA accessible parking stalls is required, we are including 4 as part of the total 50 stalls.
- d. Typical UPS/Fed-Ex type vehicles are expected for occasional deliveries. No semi-truck or imaging vehicles are anticipated on site.

D. Refuse and service areas:

- a. Garbage will be handled on site, on the Northern end of the parking. Trucks will be able to pull in forward to pick up the trash, then back up to exit.

E. Utilities:

- a. All utilities are located along Ridgewater Drive.
- b. Fiber optic lines may be located under the sidewalk.
- c. All utility connections will be verified prior to construction

F. Screening and buffering:

- a. A 12' landscape buffer is required along the Ridgewood drive. We are planning on planting 17 trees along with a landscape mulch

G. Signs, yards and other open spaces:

- a. One monument sign located on the easterly side of the site. Two St Luke Community Healthcare signs located on the building. (North and West facing).

- H. Height, bulk and location of structures:
  - a. Overall footprint is 173'x83' (9,872 sf)
  - b. 25' – 26' Building height
  
- I. Location of proposed open space uses:
  - a. Open areas are to the north to gain as much view as possible to the lake
  
- J. Hours and manner of operation:
  - a. Normal business hours are expected M-F.
  
- K. Noise, light, dust, odors, fumes and vibration:
  - a. The space is a clinic / physical therapy; none, to very limited noise, dust, odors, fumes, and vibration than what would be expected from a normal business.

Adjacent Land Owners:

1 Taco Bell:

<b>Property Category:</b> RP	<b>Subcategory:</b> Real Property
<b>Geocode:</b> 15-3228-11-4-02-02-0000	<b>Assessment Code:</b> 0000037203
<b>Primary Owner:</b> COUTTS TODD 102 RUFUS LN POLSON, MT 59860-8903	<b>PropertyAddress:</b> RIDGEWATER DR POLSON, MT 59860
<b>COS Parcel:</b>	
<i>NOTE: See the Owner tab for all owner information</i>	
<b>Certificate of Survey:</b>	
<b>Subdivision:</b> RIDGEWATER PHASE 1	
<b>Legal Description:</b> RIDGEWATER PHASE 1, S11, T22, R20, Lot 2C, 46276 SQUARE FEET, CORRECTED ASSR#0000037203	
<b>Last Modified:</b> 5/13/2015 6:45:28 PM	

2 First Citizens Bank of Polson:

<b>Property Category:</b> RP	<b>Subcategory:</b> Real Property
<b>Geocode:</b> 15-3228-11-4-02-05-0000	<b>Assessment Code:</b> 0000037205
<b>Primary Owner:</b> FIRST CITIZENS BANK OF POLSON 213 1ST ST W POLSON, MT 59860-2134	<b>PropertyAddress:</b> RIDGEWATER DR POLSON, MT 59860
<b>COS Parcel:</b>	
<i>NOTE: See the Owner tab for all owner information</i>	
<b>Certificate of Survey:</b>	
<b>Subdivision:</b> RIDGEWATER PHASE 1	
<b>Legal Description:</b> RIDGEWATER PHASE 1, S11, T22, R20, Lot 5C, 38058 SQUARE FEET, RIDGEWATER PH 1 LOT 5C	
<b>Last Modified:</b> 3/14/2015 5:54:46 AM	

3 Kalispell Regional Hospital:

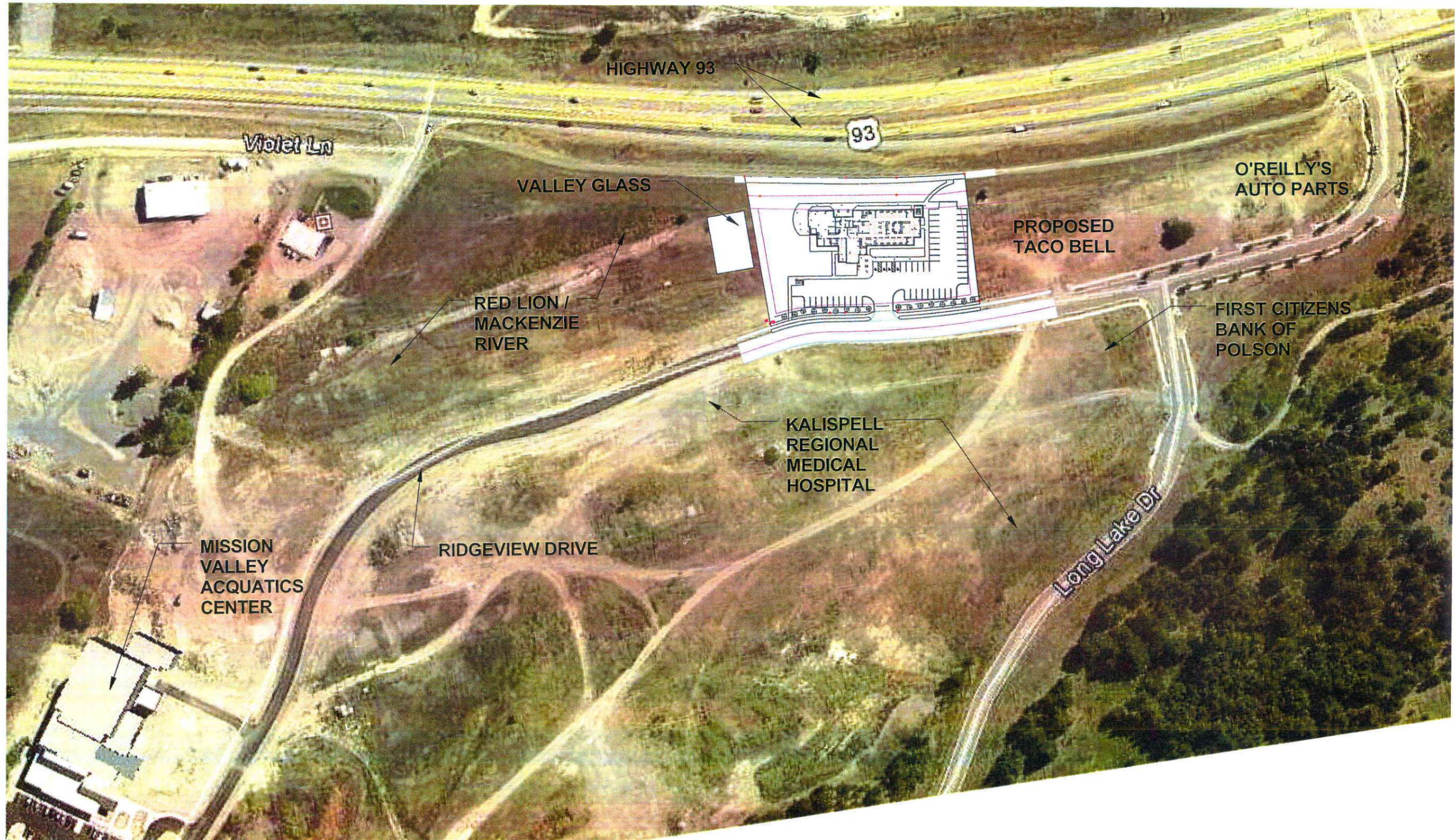
<b>Property Category:</b> RP	<b>Subcategory:</b> Real Property
<b>Geocode:</b> 15-3228-11-3-01-17-0000	<b>Assessment Code:</b> 0000024175
<b>Primary Owner:</b> FLATHEAD HOSPITAL DEVOLPMENT COMPANY LLC 310 SUNNYVIEW LN KALISPELL, MT 59901-3129	<b>PropertyAddress:</b> RIDGEWATER DR POLSON, MT 59860
<b>COS Parcel:</b>	
<i>NOTE: See the Owner tab for all owner information</i>	
<b>Certificate of Survey:</b>	
<b>Subdivision:</b> RIDGEWATER PH 2 COMMERCIAL	
<b>Legal Description:</b> RIDGEWATER PH 2 COMMERCIAL, S11, T22 N, R20 W, Lot 8C, ACRES 6, ASSR #0000024175	
<b>Last Modified:</b> 4/29/2015 6:50:16 PM	

4 Valley Glass:

<b>Property Category:</b> RP	<b>Subcategory:</b> Real Property
<b>Geocode:</b> 15-3228-11-4-02-08-0000	<b>Assessment Code:</b> 0000024184
<b>Primary Owner:</b> VG PROPERTIES LLC 1903 3RD AVE E KALISPELL, MT 59901-5773	<b>PropertyAddress:</b> RIDGEWATER DR POLSON, MT 59860
<b>COS Parcel:</b>	
<i>NOTE: See the Owner tab for all owner information</i>	
<b>Certificate of Survey:</b>	
<b>Subdivision:</b> RIDGEWATER PH 3 COMMERCIAL	
<b>Legal Description:</b> RIDGEWATER PH3 COMMERCIAL, S11, T22 N, R20 W, Lot 9C, ACRES 0.5, ASSR #0000024184	
<b>Last Modified:</b> 4/29/2015 6:50:16 PM	

5 Red Lion / Mackenzie River Pizza:

<b>Property Category:</b> RP	<b>Subcategory:</b> Real Property
<b>Geocode:</b> 15-3228-11-3-01-29-0000	<b>Assessment Code:</b> 0000024192
<b>Primary Owner:</b> COUGAR RIDGE DEVELOPMENT LLC 50230 US HIGHWAY 93 STE 4 POLSON, MT 59860-7069	<b>PropertyAddress:</b> 201 RIDGEWATER DR POLSON, MT 59860
<b>COS Parcel:</b>	
<i>NOTE: See the Owner tab for all owner information</i>	
<b>Certificate of Survey:</b>	
<b>Subdivision:</b> RIDGEWATER PH 5 COMMERCIAL	
<b>Legal Description:</b> RIDGEWATER PH 5 COMMERCIAL, S11, T22 N, R20 W, Lot 10C, ACRES 0.54, ASSR #0000024192	
<b>Last Modified:</b> 4/15/2015 8:27:22 PM	



SUP - LAND USE

**OZ**  
architects

531 N. Higgins Avenue  
Missoula, Montana 59082  
ph: 406.728.3013  
fax: 406.728.9277

**MEDICAL OFFICE  
BUILDING**  
at

**Polson Montana**

POLSON, MT.

**SITE PLAN, ADJACENT  
LAND USE**

Date: 06.05.2015

Project No.14.033A

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**SUP 1**

**SURVEY CONTROL**

BASIS OF BEARINGS:  
GRID NORTH OF MONTANA STATE PLANE COORDINATE SYSTEM  
NAD83(2011)(EPOCH: 2010)

VERTICAL DATUM:  
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

HORIZONTAL CONTROL (GROUND COORDINATES, IFT.)

PT.#	NORTHING	EASTING	DESCRIPTION
1	1284859.51	831014.14	MAG NAIL
2	1285159.93	831113.93	WGM RPC
3	1285230.67	830811.73	MAG NAIL

VERTICAL CONTROL (IFT.)

TBM-1: 3123.41'  
"X" IN ARROW BOLT ON FIRE HYDRANT

HORIZONTAL CONTROL POINT #1: 3124.43'  
HORIZONTAL CONTROL POINT #2: 3115.99'  
HORIZONTAL CONTROL POINT #3: 3119.99'

\*\*\* BOUNDARY LINE WORK SHOWN IS RECORD PER AMENDED SUBDIVISION PLAT OF LOTS 3C & 4C OF "CORRECTED PLAT" OF A PORTION OF RIDGEWATER PHASE 1, BEST FIT TO EXISTING MONUMENT TIES.

BURIED UTILITIES SHOWN ARE PER ONE CALL LOCATE TICKET NO. 15001147, DATED 01/20/2015 AND VISIBLE SURFACE EVIDENCE.

**SITE MAP**  
**LOT 4C-1 PORTION OF RIDGEWATER, PHASE 1**  
**POLSON, MONTANA**

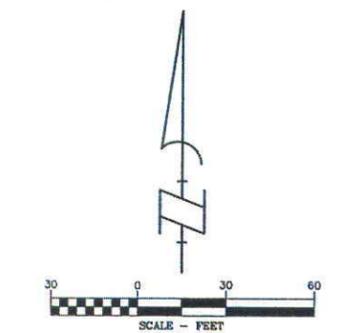
REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT: 14-10-05  
FILE No: 141005\_SM.dwg  
FILE PATH:  
#:\Projects\141005\Site Map to Other\1-30-2015  
LAYOUT: SHT1  
SURVEYED: WGM GROUP  
DESIGN: ---  
DRAFT: RH  
APPROVE: ---  
DATE:

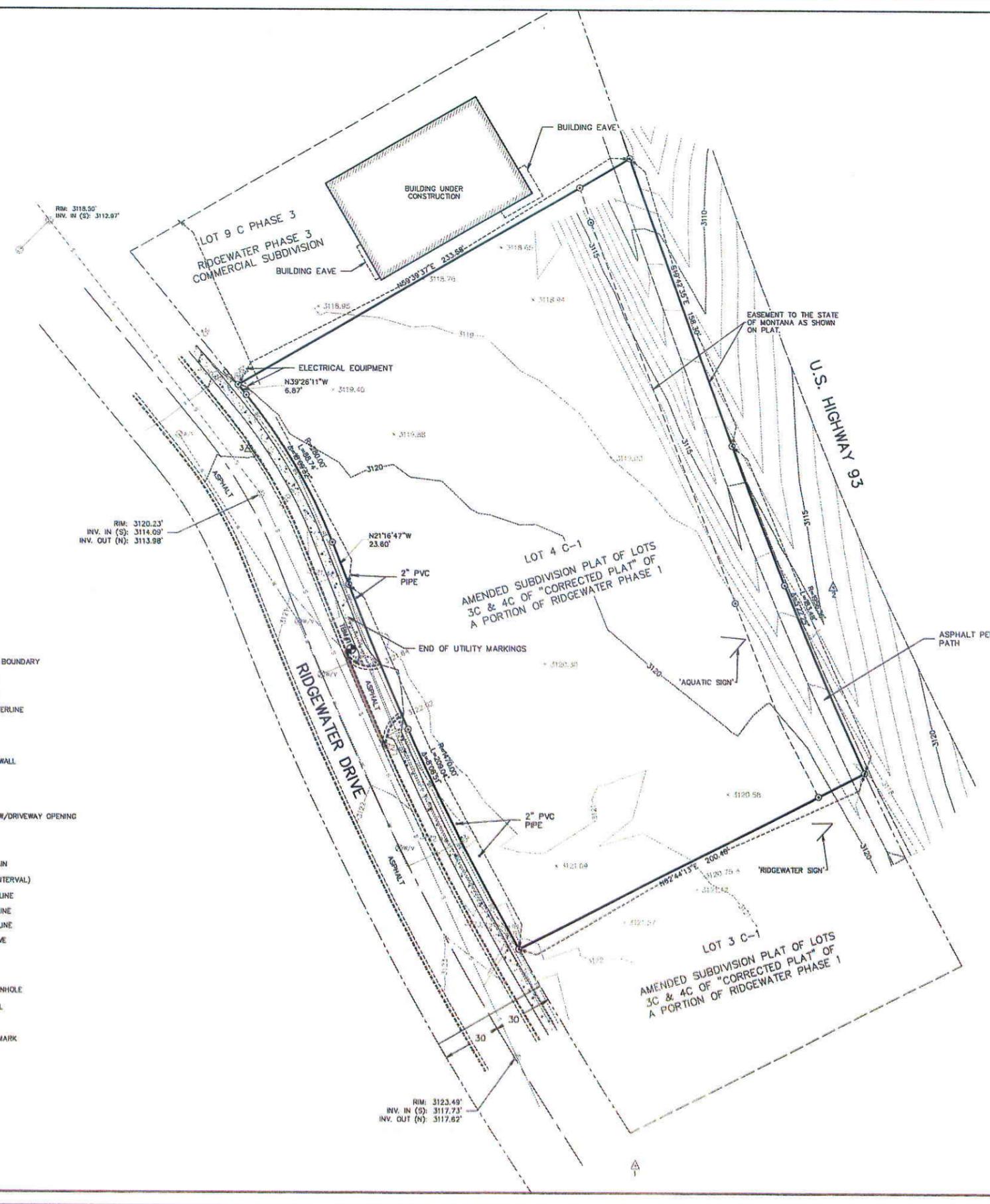
JANUARY, 2015

SHEET 1 OF 1



**PRELIMINARY**  
PLOTTED: 1/30/2015  
SAVED: 1/30/2015

- LEGEND**
- SUBJECT PROPERTY BOUNDARY
  - - - RIGHT OF WAY LINE
  - - - ADJACENT LOT LINE
  - - - RIGHT OF WAY CENTERLINE
  - - - EASEMENT LINE
  - - - EDGE OF ASPHALT
  - ▨ EXTERIOR BUILDING WALL
  - ▭ CONCRETE
  - ▨ CURB AND GUTTER
  - ▨ CURB AND GUTTER W/DRIVEWAY OPENING
  - WATER MAIN
  - WATER SERVICE
  - SANITARY SEWER MAIN
  - CONTOUR (1 FOOT INTERVAL)
  - BURIED ELECTRICAL LINE
  - BURIED TELEVISION LINE
  - BURIED TELEPHONE LINE
  - ⊙ WATER SERVICE VALVE
  - ⊙ WATER VALVE
  - ⊙ FIRE HYDRANT
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ CONTROL POINT
  - ⊙ TEMPORARY BENCH MARK
  - ⊙ SPOT ELEVATION
  - ⊙ FOUND MONUMENT



LOT 9 C PHASE 3  
RIDGEWATER PHASE 3  
COMMERCIAL SUBDIVISION

LOT 4 C-1  
AMENDED SUBDIVISION PLAT OF LOTS  
3C & 4C OF "CORRECTED PLAT" OF  
A PORTION OF RIDGEWATER PHASE 1

LOT 3 C-1  
AMENDED SUBDIVISION PLAT OF LOTS  
3C & 4C OF "CORRECTED PLAT" OF  
A PORTION OF RIDGEWATER PHASE 1

ELECTRICAL EQUIPMENT  
N39°26'11"W  
6.67'

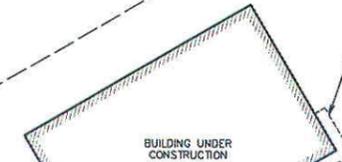
2" PVC PIPE

2" PVC PIPE

RIM: 3123.49'  
INV. IN (S): 3117.73'  
INV. OUT (N): 3117.82'

RIM: 3120.23'  
INV. IN (S): 3114.09'  
INV. OUT (N): 3113.98'

RIM: 3118.90'  
INV. IN (S): 3112.87'



EASEMENT TO THE STATE  
OF MONTANA AS SHOWN  
ON PLAT.

U.S. HIGHWAY 93

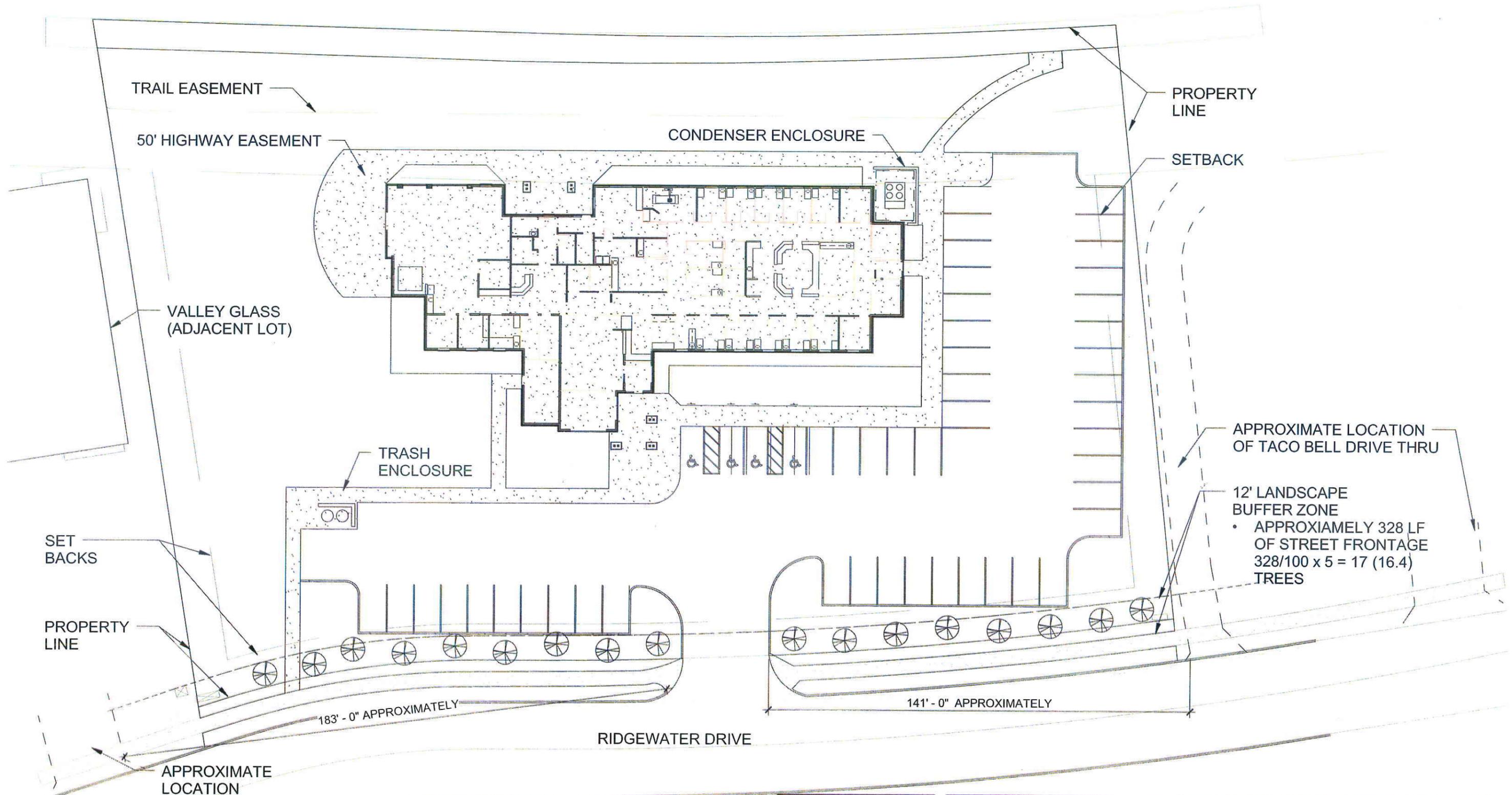
ASPHALT PEDESTRIAN  
PATH

RIDGEWATER DRIVE

'AQUATIC SIGN'

'RIDGEWATER SIGN'

END OF UTILITY MARKINGS



**SITE PLAN SUP**

1" = 30'-0"



531 N. Higgins Avenue  
 Missoula, Montana 59082  
 ph: 406.728.3013  
 fax: 406.728.9277

**MEDICAL OFFICE  
 BUILDING**  
 at

**Polson Montana**

POLSON, MT.

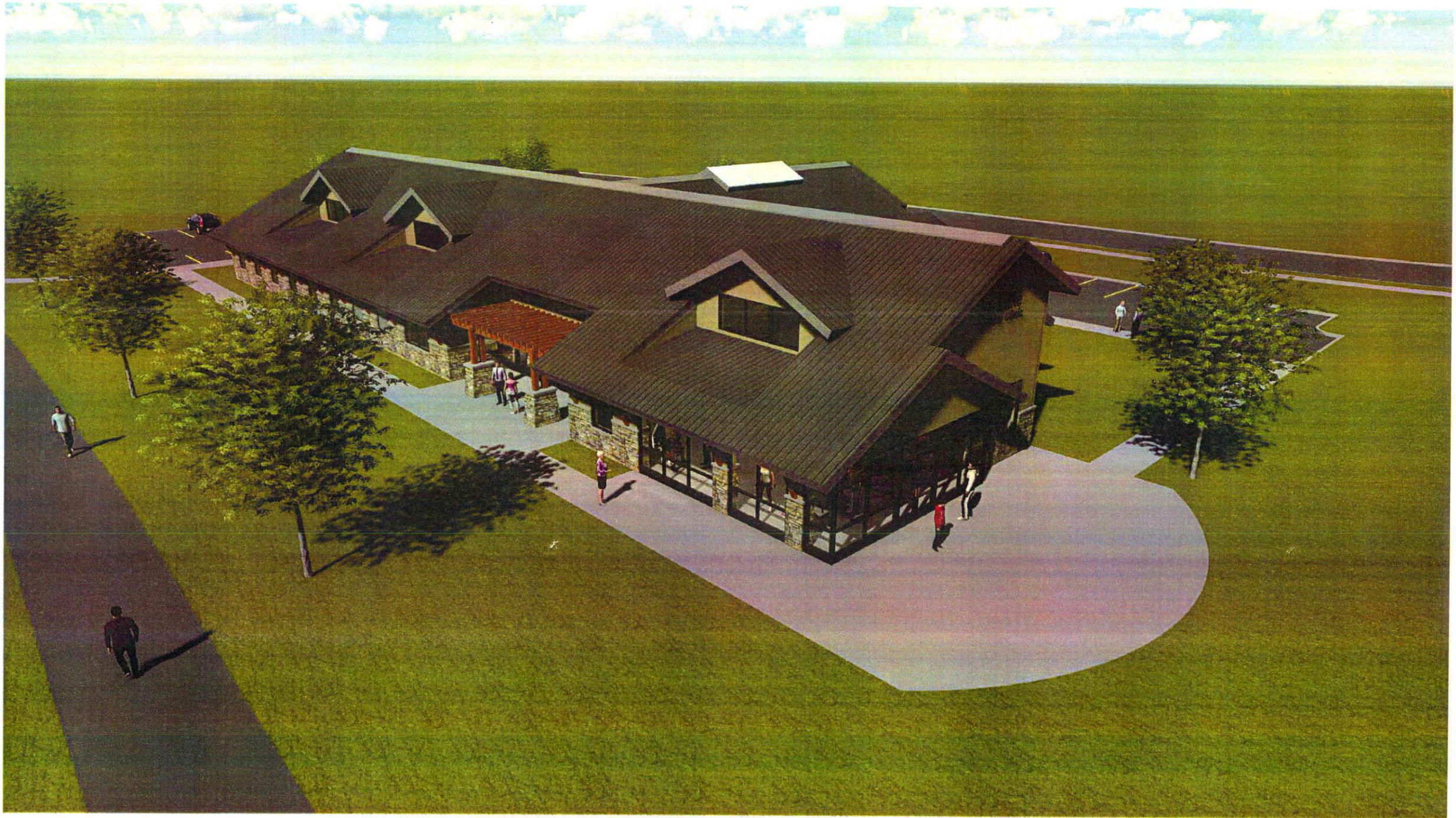
**EXISTING / PROPOSED  
 USES, LANDSCAPING**

Date: 06.05.2015

Project No.14.033A

**SUP 2**

© 2015 OZ Architects



## MEDICAL OFFICE BUILDING

Polson Montana



## MEDICAL OFFICE BUILDING

Polson Montana

**City of Polson**  
**City Commission Agenda Item Summary**

Agenda Item Number: 9  
Applicant Number: #SUP15-06  
Meeting Date: 8/17/2015  
Staff contact: Erica Wirtala, AICP, City of Polson Planner

**AGENDA ITEM SUMMARY:** Consideration of a SUP application proposed by FRE Polson, LLC. The property is known as Lot 17C of Ridgewater, Phase 6 Commercial Subdivision, located in Section 11, T22N, R20W, P.M.M., Lake County, Montana.

**BACKGROUND:** FRE Polson LLC would like to construct a dialysis clinic facility. It will have driveway access to Ridgewater Drive. The facility will connect to public water and sewer systems. The applicant has submitted an estimate that there might be 100 vehicle trips generated throughout the course of the business day. The building is 6,379 square feet in size and there are 32 associated parking spaces. There is ample landscaping to meet with Appendix F (buffers between the facility and the street), and a monument sign is proposed for the east side of the property. The subject property is approximately 1.5 acres in size.

**STAFF RECOMMENDATION:** The Planning Staff recommends to the City Commission to approve the SUP Request.

**PUBLIC COMMENT:** There has been no comments made regarding the proposal at this time.

**SUGGESTED MOTION:** “\_\_\_\_\_ make a motion to approve the SUP request for a Dialysis clinic on behalf of FRE Polson LLC along with the Conditions of Approval as described in the attached staff report and to include additional condition #19 All medical waste, including water waste, must be disposed of in the proper manner as called out by Federal Requirements.

**ATTACHMENTS:** Planning Staff Report prepared by Erica Wirtala-City of Polson planner and the SUP application package as prepared by Jason Pyne of Christopher Kidd and Associates, Menomonee Falls, WI.

**Staff Report for the  
City/County Planning Board (CCPB)  
City Council Chambers, Tuesday, August 11, 2015 @ 6:00 p.m. for a Special  
Use Permit on the proposed FRE Polson LLC (Dialysis Clinic)**

**GENERAL INFORMATION:**

Applicant: FRE Polson, LLC  
C/o Larry Ginnings  
3010 LBJ Freeway, Suite 1400  
Dallas, TX 75234  
(214) 369-3939 x 104

Technical Assistance: Christopher Kidd and Associates  
C/o Jason Pryne  
N48W 16550 Lisbon Road  
Menomonee Falls, WI 53051  
(262) 901-0505

Applicant Number: SUP#15-06  
Application Type: Special Use Permit for new development in HCZD  
Date Received Application: 7/9/2015  
Date of Site Review: 7/2/2015

**APPLICABLE REGULATIONS:**

- Polson Development Code,
- Polson Growth Policy
- HCZD: Highway Commercial Zoning District
- Montana Dept of Environmental Quality (Stormwater and MFE standards)
- Polson Building Code

**PUBLIC NOTICE:**

Lake County Leader: 7/23/2015  
Notices for mailing to adjoining property owners: 7/20/2015  
Staff Report completed: July 27, 2015

**WRITTEN PUBLIC COMMENTS:** None as of the writing of this report.

**PROPOSAL:** FRE Polson LLC is requesting a Special Use Permit to construct a Dialysis Clinic medical facility for outpatient use. This proposal includes the construction of a 6,379 square foot building and associated 29 regular parking spaces, and three additional handicapped accessible spaces for a total of 32 parking spaces. There is an enclosed garbage facility. The primary access to the facility is from Ridgewater Drive via two driveways. A monument sign is proposed on the southeastern side of the property, near the intersection of the first

driveway. A pedestrian access is provided to the building from the Ridgewater Drive sidewalk.

**PROPERTY DESCRIPTION:**

The property can be described as Lot 17C in the Ridgewater Phase 6 subdivision in Section 11, Township 22N, Range 20 West, Lake County. The property is zoned HCZD and is the suitable zoning district for the proposed use. Per the Polson Development Code, a Special Use Permit approval is required on all new developments in HCZD. The property is approximately an acre and a half in size.

This proposal does not meet the definitions of a Large-Scale Development because it will not produce more than 1000 vehicle trips per day.

**Review Process:**

The Polson City-County Planning Board shall conduct a public hearing on this request and make a recommendation to the Polson City Commission. Once the public hearing is closed, the City County Planning Board will evaluate the request under the terms of the Polson Development Code for the Highway Commercial Zoning District standards and specifications, the Special Use Permit process and other portions of the PDC as applicable.

The Polson City-County Planning Board shall make a recommendation to approve, deny or conditionally approve the SUP to the Polson City Commission. The City Commission is the permit-issuing authority for all Special Use Permits within the City Limits.

If the Special Use Permit is denied, the CCPB and/or City Commission shall specify the codes, standards, regulations, and/or public input that the applicants have not met and note them under "Findings of Fact". Consideration of a Special Use Permit application may be tabled for no more than 35 days.

**ANALYSIS:**

-The applicants are proposing to design and construct a Dialysis Clinic outpatient facility.

-The applicants had a Site Review Meeting on 7/2/2015 where Planning, Sewer and the Fire Department were present to review and comment on the proposal. Comments from that Site Review meeting included requiring that water and sewer curbstops be located on the property and that any damage to the existing street will need to be repaired. Ingress and egress must meet current street standards. The Fire Chief requested "Miami" rolled curbs. Street trees are required as per the PDC. There is a 12' landscape buffer. One item in particular to note is that there are extensive stormwater retention requirements for this lot and that those plans

will have to be reviewed by the City Engineer, Shari Johnson, P.E. There is some significant topography on this lot.

-The architect/consultant provided information that there would be one clinical manager per shift and approximately 5 nursing staff working 12 hour days on a daily basis (total six employees). There will be other employees working intermittently during the week, perhaps on different days. These would include a social worker, a dietitian, area manager and bio-med techs. This would bring the staff total to nine employees. The clinic is set up for accommodate 16 stations, and each station can treat two patients during the course of a day, so a maximum capacity of 32 patients per day. With 32 patients and the potential of nine employees, there is an estimated traffic volume of 41 vehicle trips per day in addition to the regular traffic that is generated by any typical business (Fed Ex, UPS, mail deliveries etc).

-There are approximately 9 employees necessary to keep this facility in operation during the day. There would most likely only be one shift during the course of the day. In the beginning stages of operation, patients may only be treated on a MWF basis. On TTh, there would be a much reduce staff present and no patients. Once a threshold of 32 patients has been reached, operations will expand to a six day work week. Employees would have to arrive earlier than opening and stay later to close. Hours of operation will be from 7 am to 7:30 pm. Monday through Friday, expanding to Saturday hours when capacity has been met.

-There is a sign proposed with the name and logo of the clinic on the easterly side of the site. Some identifying logo and text would also be on the building itself. A sign application and fee will be required. The sign's lights would be dimmed when the facility is closed for business.

-Existing views of the Lake will not be impacted with this development and this development is not a lakeshore development for mandated view consideration.

-The Polson Development Code defines the Highway Commercial Zoning District as a place for commercial uses that rely on easy automobile access. The subject property is a location that provides convenient automobile access and circulation from Highway 93 onto Ridgewater Drive. Highway 93 is a four lane highway that includes turn lanes and a traffic signal. A Traffic Impact Study (TIS) was completed for the Ridgewater Subdivision Preliminary Plat in 2005 and at that time, the TIS recommended a traffic signal and intersection improvements at the highway approach. All of those improvements were completed. The location appears to be a good fit for a dialysis clinic as it is centrally located between existing dialysis clinics in Kalispell and Missoula

-The Polson Development Code requires 5 parking spaces for each 1000 square feet of gross floor area in health services. There are 32 parking spaces shown

on the plans for the facility, three of them are indicated for handicapped access. This plan is in compliance with the PDC standard.



-The applicants provided a landscape plan to comply with the buffer requirements of Appendix F of the Polson Development Code.

-There will be exterior lighting on the building, within the signage and in the parking lot for the safety/security of patrons and employees. This should be downward shielded to contain light pollution and the lights within the signage on a timer to completely shut off during closed hours. There could be additional lighting that is set on a motion sensor near the garbage enclosure.

#### **FINDINGS OF FACTS:**

##### **Primary Review Criteria**

##### **Effect on Local Services:**

1. The developer will connect to municipal water and sewer systems. The owners pay the cost of connecting and extending. FRE Polson LLC will pay regular water and sewer charges, impact and hook-up fees.
2. The development will receive law enforcement services from the Polson Police Department and fire protection services from the Polson Fire Department.
3. The applicants will develop the driveways from Ridgewater Drive and all of the parking and interior circulation. Directional signage and address signs, as well as a stop sign at the driveway intersections will be required.
4. FRE Polson LLC will be required to contract with the local solid waste removal company for regularly scheduled garbage pickup.

**Effect on the Natural Environment:**

1. The owners are responsible for managing post development runoff on-site and releasing it at pre-development rates. Applicable erosion control measures shall be installed, such as hay bales or silt fences, prior any groundbreaking as necessary. There have been stormwater retention requirements for Phase 6, Ridgewater Subdivision that are specific to Lot 17C that will need to be met. Stormwater management, drainage and grading plans shall be submitted, and reviewed and approved by the City Engineer and Water/Sewer Superintendent prior to construction. No development shall channel surface or irrigation water on to another lot or property.
2. The owners are responsible for weed control and shall prevent the proliferation of weed growth within the property boundaries and their spread to neighboring properties.

**Effect on Public Health and Safety:**

Based on available information such as FEMA Floodplain Maps and Cadastral Maps, the development does not appear to be at risk to natural hazards such as flooding, high winds, wildfire, nor potential man-made hazards such as high voltage power lines, high-pressure gas lines, or past industrial/railroad use.

**Easements for Utilities:**

1. Public utilities are near the property and will be extended at the applicants' expense.
2. Legal and physical access is provided by Ridgewater Drive.

**Conformance to Adopted Growth Policy:**

The development proposal conforms to the Goals, Policies and Objectives as outlined within the Polson Growth Policy adopted by the City of Polson, 2006.

**Staff Recommendations on this Special Use Permit:**

After review of the application materials, site plans and site review discussion, the planning staff finds this application meets the requirements of the Polson Development Code and recommends approval of the Special Use Permit with the following Conditions. These Conditions, along with any other Conditions imposed by the Planning Board or City Commissioners, must be met for the approval of this Special Use Permit and to receive a Certificate of Occupancy.

- 
1. Any further modifications or additions to the submitted plans shall be reviewed and approved by the Polson Building and Planning Department. If at any time the applicants, their heirs or assigns propose a major change of use or expansion of the structure/site that is not herein proposed and designated,

they shall obtain the necessary applications/permits/approvals through the City processes.

2. Applicants shall apply for and receive building permits from the City of Polson prior to the start of construction of the convenient care facility. Permits shall be on site prior to ground breaking.
3. Applicants shall receive an MFE approval from the City of Polson and the Department of Environmental Quality.
4. During the construction period, erosion control measures such as hay bales or silt fences shall be installed prior to ground disturbance to prevent any water runoff or debris from entering any road or neighboring properties.
5. Applicants' drainage and stormwater runoff management plans shall be reviewed and approved by the City Engineer and completed before a Certificate of Occupancy is issued. It may be necessary to complete a SWPP from Montana Department of Environmental Quality.
6. The applicant shall develop the driveways for ingress/egress from Ridgewater Drive including all of the parking lots and interior circulation. The driveways will be constructed to a minimum of 20' width.
7. Clear vision triangles shall exist at the intersection of all roads and driveway ingress and egress locations. The driveway/road intersections shall be designed to safely accommodate the ingress and egress of larger vehicles such as fire trucks and large rv's, which include the "Miami rollovers" as requested by the Fire Chief. The intersections between the driveways and Ridgewater shall be ADA compliant.
8. Stop signs shall be installed at the driveway intersections at Ridgewater Drive.
9. The applicants shall work directly with the Fire Chief and adhere to Fire Code regulations and requirements.
10. The site shall receive an address from the City of Polson's Planning and Building Department staff. The address numbers shall be displayed so that they are clearly visible from the street in 4" reflective numbers.
11. A 12' landscape buffer shall be installed along the Ridgewater streetscape that meets the requirements and standards of the Polson Development Code Appendix F.
12. A sign permit and associated fees will be required for the proposed signage.
13. It is preferred that the lighting on the building and parking lots be shielded downward to reduce the light pollution from the lot.

14. The applicant shall work with the City Water and Sewer department during the installation of the service lines. The applicant shall notify the City and pay appropriate fees for hook-ups before a building permit is issued. Should cuts into the City roads be necessary, performance bonds shall be posted prior to work commencing and state/local permits as per the City of Polson's excavation ordinance.
15. Applicants are responsible for any applicable Impact Fees as determined by the current impact fee schedule (Resolution #2015-17) or any new resolution adopted before an application for a Building Permit is made.
16. LP gas tank, mechanical, plumbing and electrical permits are separate applications/fees. All of these permits are issued by the City of Polson, except for the electrical permit, which is issued by the State of Montana.
17. The City of Polson reserves the right to revoke this permit, terminate or enjoin the use of the structure or property, should the applicants, their heirs or assigns violate the standards of the Polson Development Code, or any Condition on this permit.
18. This Special Use Permit is valid for construction to be completed within two years from the date of issuance. The permit may be extended for one additional year if the applicants request an extension of time prior to the expiration date.

The Commission is encouraged to visit the site, ask questions and request additional information (if necessary) from the Planning Department before the hearing.

**DISCLAIMER:** The Planning Department is an advisory agent and mediator between Boards/Commission and the applicant. The Planning Department covers the applicants' adherence to the Polson Development Code, the Polson Growth Policy and other governmental standards. The Planning Department is not responsible and accepts no responsibility for the applicants' proposals, designs, plans/maps, calculations, etc. or lack thereof.

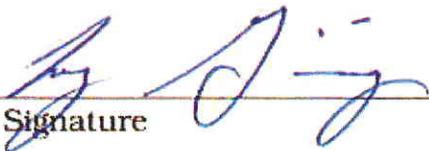


**APPLICATION FOR SPECIAL USE PERMIT Cont.**

3. On a separate sheet of paper, discuss the following topics relative to the proposed use:
- a. Traffic flow and control. x
  - b. Access to and circulation within the property. x
  - c. Off-street parking and loading. x
  - d. Refuse and service areas. x
  - e. Utilities. x
  - f. Screening and buffering. x
  - g. Signs, yards and other open spaces. x
  - h. Height, bulk and location of structures. x
  - i. Location of proposed open space uses. x
  - j. Hours and manner of operation. x
  - k. Noise, light, dust, odors, fumes and vibration. x
4. Attach supplemental information for proposed uses that have additional requirements (consult Planner).

During the course of review of the application and after final determination by the City of Polson, the Owner/Developer hereby agrees to hold the City of Polson harmless from all claims, expenses, costs and attorney's fees that may arise as a result of the actions or process taken by the Owner/Developer. This "hold harmless" responsibility does not indemnify the City from its acts of negligence, violation of codes or ordinances, or defense of its codes or ordinances.

I hereby certify under penalty of perjury and the laws of the State of Montana that the information submitted herein, on all other submitted forms, documents, plans or any other information submitted as a part of this application, to be true, complete, and accurate to the best of my knowledge. Should any information or representation submitted in connection with this application be incorrect or untrue, I understand that any approval based thereon may be rescinded, and other appropriate action taken. The signing of this application signifies approval for the Polson Planning staff to be present on the property for routine monitoring and inspection during the approval and development process.

 \_\_\_\_\_ 7/8/15 \_\_\_\_\_  
Applicant Signature Date

**INSTRUCTIONS FOR SPECIAL USE PERMIT APPLICATION**

1. A pre-application meeting with the planning director or member of the planning staff is required.
2. Submit the correct fee, (per schedule below) **11 copies** of completed application and appropriate attachments to the Polson Planning Department (address on the front of this form) along with an **Electronic Copy of the full application submittal.**
3. A **certified** list of all property owners within 150 feet of the subject property is required with the information listed below. The list can be obtained from the County Plat Room or from a title company. Please note: Streets and roads are not included as part of the 150 feet.

<u>Assessor</u>	<u>Sec-Twn-</u>	<u>Lot/Tract</u>	<u>Property Owner &amp; Mailing Address</u>
<u>No</u>	<u>Rng</u>	<u>No</u>	

4. A bona fide legal description of the subject property and a map showing the location and boundaries of the property.
5. Application must be completed and submitted a minimum of **thirty five (35) days prior** to the planning board meeting at which this application will be heard.
6. The regularly scheduled meeting of the planning board is the second Tuesday of each month.
7. After the planning board hearing, the application is forwarded with the board's recommendation to the City Commission for hearing and final action.

<b>Special Use Permit Fee</b> .....	<b>\$750.00</b>
Adjoining Landowner Notification	\$ 6 (per address)

In reviewing the application and materials submitted by the applicant, the City of Polson may determine that it may require extraordinary review and incur additional, expenses, costs and staff time on behalf of the applicant. The staff will advise the applicant of anticipated additional time and anticipated costs, including expenses for outside consultants, prior to incurring the same. The applicant is expected to pay such anticipated costs and hereby waives all statutory or ordinance time frames imposed upon the City until such fees and costs are paid.



Montana Department of Transportation

2701 Prospect Avenue  
PO Box 201001  
Helena MT 59620-1001

Michael T. Tooley, Director  
Steve Bullock, Governor

August 4, 2015

City of Polson  
Planning Department  
Attn: Beth Smith  
106 1<sup>st</sup> Street East  
Polson, MT 59860

Subject: Polson Medical Dialysis Clinic – MDT Comments

Beth-

The Montana Department of Transportation (MDT) staff would like to thank you for the opportunity to provide input concerning the proposed Medical Dialysis Clinic near Polson.

The proposal appears to have potential impact on MDT facilities and/or right-of-way; however we do not have enough information to make a determination at this time. If this project is planned to encroach into MDT right-of-way, they must apply and obtain a permit for occupancy. Without prior approval, the developer may be required to remove all improvements at their own expense.

Please contact James Freyholtz, Kalispell Area Traffic Engineer, at (406)751-2049 to discuss any necessary permits.

If you have any questions concerning this letter, please contact me at [brwhitaker@mt.gov](mailto:brwhitaker@mt.gov) or at (406)444-9342.

Sincerely,

Brianna Whitaker  
Transportation Planner  
Policy, Program & Performance Analysis Bureau

Copies: Ed Toavs – Missoula District Administrator  
James Freyholtz – Kalispell Area Traffic Engineer  
Mike Tierney – System Impact Analysis  
File



BY: Beth

By: SANDS SURVEYING, Inc.  
 2 Village Loop  
 Kalispell, MT 59901  
 (406) 755-6481

JOB NO: 434101  
 DATE: JULY 8, 2015  
 REVISED:  
 FOR: FRE Montana, LLC  
 OWNER: COUGAR RIDGE DEVELOPMENT, LLC

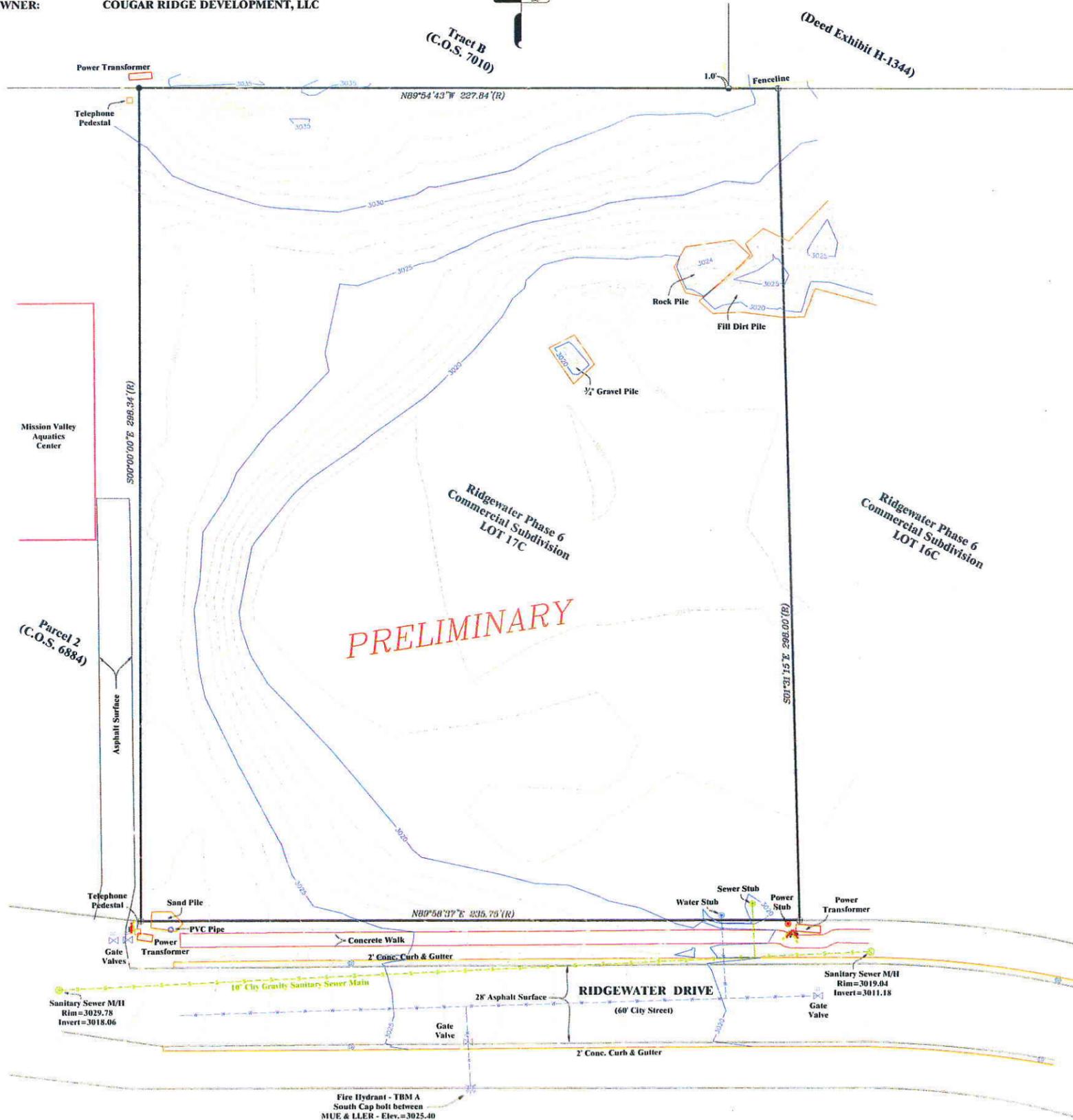
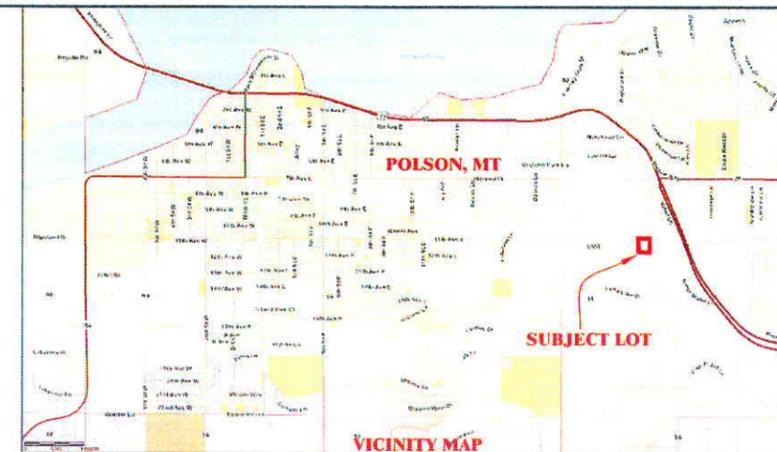
# ALTA/ACSM LAND TITLE SURVEY:

In the E $\frac{1}{2}$  of Sec. 11, T.22N., R.20., P.M.,M., Lake County, Montana

SCALE: 1" = 20'  
 Contour Interval = 1'  
 Vertical Datum is NAVD88



- LEGEND:**
- Set 1/2"x24" Rebar & Cap (7975S)
  - Found 5/8" Rebar & Cap (5940S)
  - ⊕ Found 5/8" Rebar (no Cap)
  - ⊖ Monument not found or set
  - (F) Found Information
  - (R) Record Information per Ridgewater Phase 6 Commercial Subdivision
  - Boundary Adjoining
  - Boundary Subject
  - Building Line
  - Concrete Walkway
  - 3000 Contour Label
  - Contour Line Minor (1')
  - Contour Line Major (5')
  - Curb & Gutter
  - Pavement Edge
  - Sign Post
  - Power Underground
  - Sanitary Manhole
  - Sanitary Sewer Line
  - Telephone Pedestal
  - Cable TV Pedestal
  - Cable TV Underground
  - Water Catch Basin
  - Water Gate Valve
  - Fire Hydrant
  - Water Line



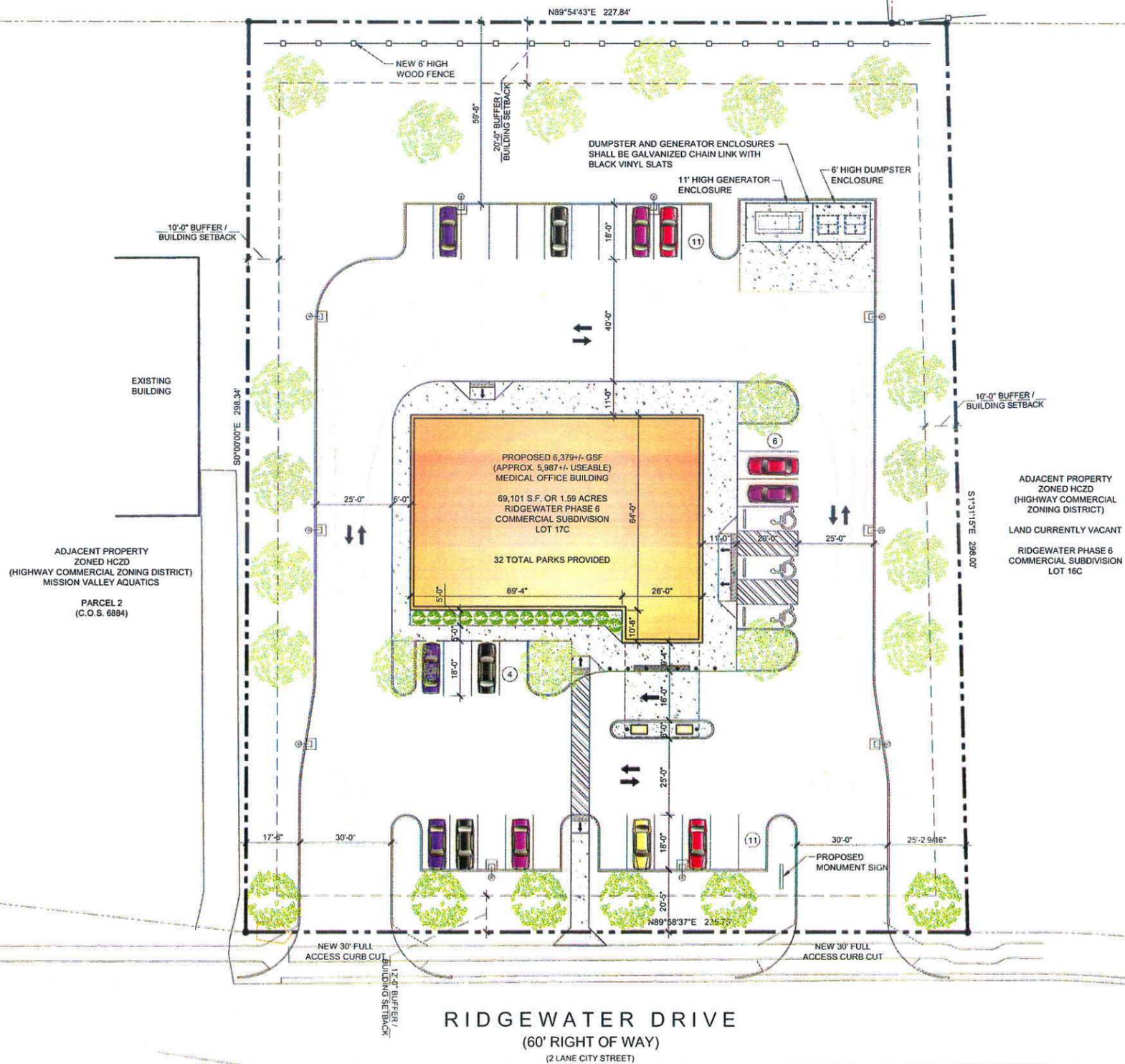
PRELIMINARY

SITE SUMMARY		
<b>ZONING</b>	<b>LOT COVERAGE BY IMPERVIOUS:</b> MAX LOT COVERAGE ALLOWED: 80%	<b>SETBACKS</b>
HCZD - HIGHWAY COMMERCIAL ZONING DISTRICT MEDICAL OFFICE USE IS PERMITTED FLOOD ZONE X AS DEFINED BY SURVEY	<b>PARKING</b>	FRONT: 12' ALONG RIDGEWATER SIDE (INTERIOR): N/A (10' TO AVOID FIREWALLS) SIDE (STREET): 10' REAR: 20' BUFFER (10' TO AVOID FIREWALLS) HEIGHT: 30'
<b>SURROUNDING ZONES:</b> NORTH - MRZD (MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT) EAST - HCZD (HIGHWAY COMMERCIAL ZONING DISTRICT) SOUTH - HCZD (HIGHWAY COMMERCIAL ZONING DISTRICT) WEST - HCZD (HIGHWAY COMMERCIAL ZONING DISTRICT)	TOTAL PARKING NEEDED PER CITY: 32 (1/200 GSF)	<b>LANDSCAPING</b>
RIDGEWATER DRIVE IS A LOCAL STREET	TOTAL PARKING REQUIRED BY CLIENT (4/1000): 26 10% HANDICAP	• STREET YARD PLANTING AREA - MINIMUM 12" DEPTH FROM PROPERTY LINE, NO PARKING ALLOWED • 20' BUFFER YARD REQUIRED BETWEEN HCZD AND OTHER ZONE • PROVIDE FENCE ON NORTH PROPERTY LINE
<b>AREAS</b>	PROVIDED STANDARD STALLS: 29 PROVIDED ACCESSIBLE STALLS: 3 TOTAL PARKING PROVIDED: 32	
LOT COVERAGE: 69,101 SF OR 1.59 ACRES TOTAL BUILDING AREA: 6,379 GSF LOT COVERAGE BY BUILDING: 9.2%	PARKING STALL SIZE PER CODE: ONE-WAY AISLE, 90°: 9'X18.5' (N/A PROVIDED) TWO-WAY AISLE, 90°: N/A (9'X18' PROVIDED)	
	ONE-WAY AISLE WIDTH, 90°: 18' (N/A PROVIDED) TWO-WAY AISLE WIDTH, 90°: 24' (20' PROVIDED)	

- GENERAL NOTES**
1. THIS PLAN IS PRELIMINARY IN NATURE. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES. PROPERTY BOUNDARIES AND EXISTING WERE GENERATED USING AERIAL PHOTOGRAPHS AND FIELD INFORMATION. SITE ACCURACY CANNOT BE VERIFIED UNTIL LAYED OUT IN RELATION TO A CURRENT SURVEY OF THE PROPERTY.
  2. ZONING AND PLAN REVIEW FEES AND APPLICATIONS SHALL BE VERIFIED WITH THE LOCAL MUNICIPALITY
  3. ALL SITE UTILITY LOCATIONS SHALL BE VERIFIED VIA CURRENT ALTA/ARCHITECTURAL SURVEY FOR THE PROPERTY IN QUESTION. THE ARCHITECT SHALL NOT ASSUME RESPONSIBILITY FOR UTILITIES NEEDED THAT ARE NOT IMMEDIATELY ADJACENT TO THE SITE.
  4. UTILITY PERMITS, TAP FEES AND STORM WATER FEES INCLUDING WATER MODEL CALCULATIONS SHALL BE VERIFIED WITH THE LOCAL MUNICIPALITY
  5. STORMWATER MANAGEMENT SHALL BE HANDLED VIA COMBINED SYSTEMS OF DRY WELLS WITH SURFACE DETENTION AS REQUIRED TO ACCOMMODATE TOTAL SITE COLLECTION
  6. CURRENT STATUS OF PROPERTY WITH REGARD TO LOCATION IN A FLOOD PLAN MUST BE VERIFIED WITH THE LOCAL MUNICIPALITY. WETLAND BOUNDARIES AND SETBACKS SHALL BE VERIFIED BY A WETLAND SURVEYOR.
  7. LANDSCAPING SHOWN, IF ANY, IS FOR REFERENCE ONLY.

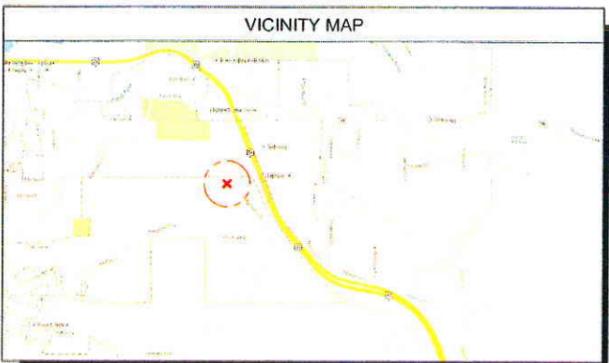
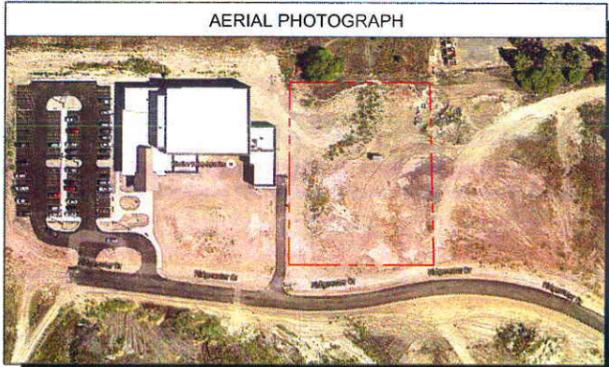
TRACT B  
(C.O.S. 7010)

DEED EXHIBIT H-1344



**DRAWING LEGEND**

	INDICATES EXISTING PROPERTY LINE
	INDICATES REQUIRED SETBACKS AND EASEMENTS
	INDICATES NEW CONCRETE SURFACE FOR PERMANENT USE
	INDICATES PEDESTRIAN OR ACCESSIBLE AISLE STRIPING



#	DATE	REVISION DESCRIPTION

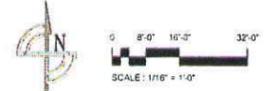
Christopher D. Kidd  
AIA, ALA, RIBA  
148915550 Urban Road, Missoula Falls, Wisconsin 53091-4830  
P 262.901.0505 F 262.901.0510 arch@cdk-ae.com cdk-ae.com

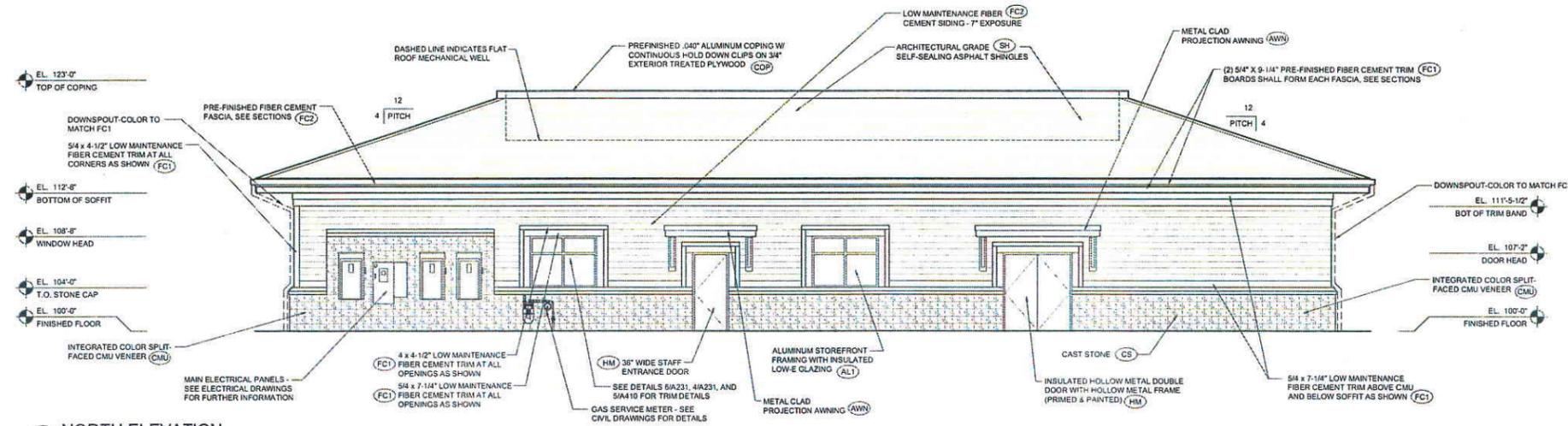
Medical Office Building for:  
**FRE Polson, LLC**  
Ridgewater Drive  
Polson, Montana 59860

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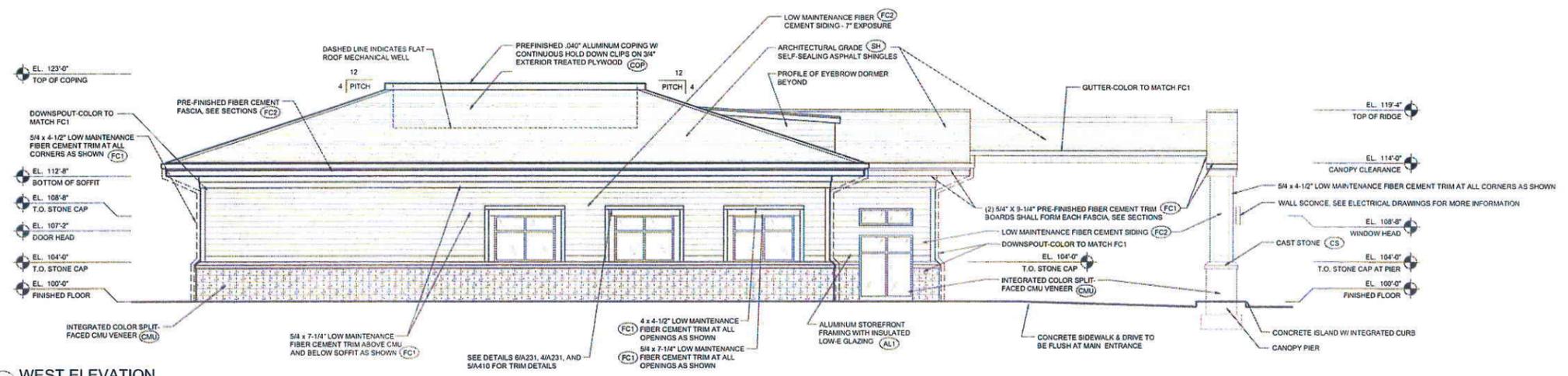
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Drafted By: JTP  
Checked By: JTP  
Date Drafted: 7/9/2015  
Project #: 15010-01

**A100**  
ARCHITECTURAL  
SITE PLAN





1 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

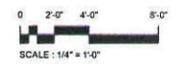


2 WEST ELEVATION  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH LEGEND						
(FC1)	MANUF COLOR FINISH PRODUCT	JAMES HARDIE COMMERCIAL SANDSTONE BEIGE 5/8" THICK SMOOTH HARDIE TRIM H210	(PA)	MANUF COLOR FINISH PRODUCT	BENJAMIN MOORE CO. OR MATCH HARDIE TRIM COLOR LOW LUSTRE SUPER SPEC HP D.T.M. ACRYLIC LOW LUSTRE (P25)	
(FC2)	MANUF COLOR FINISH PRODUCT	JAMES HARDIE COMMERCIAL WOODSTOCK BROWN SELECT CEDAR MILL HARDIE PLANK H210 LAP SIDING - 7" EXPOSURE	(AL1)	MANUF COLOR FINISH PRODUCT	KAWNEER MANUFACTURER'S CLEAR ANODIZED CENTER GLAZED IR 501 WITH 1/2" INFILL	
(CMU)	MANUF COLOR FINISH PRODUCT	COUNTY MATERIALS CORP 84-009 NATURAL 8" HIGH X 16" WIDE X 4" DEEP NOMINAL DIMENSIONS SPLITFACE	(AL2)	MANUF COLOR FINISH PRODUCT	KAWNEER MANUFACTURER'S CLEAR ANODIZED 10" HIGH BOTTOM RAIL 350 IR OUTSWING ALUMINUM ENTRANCE	
(CS)	MANUF COLOR FINISH PRODUCT	HERITAGE CAST STONE (OR APPROVED EQUAL) GRAHAM SMOOTH CAST STONE WATER TABLE WTB-30	(AL3)	MANUF COLOR FINISH PRODUCT	BESAM UNSULFIDE RESILIENCE MANUFACTURER'S CLEAR ANODIZED STANDARD BOTTOM RAIL LARGE MISSILE IMPACT RESISTANCE W/ FULL BREAKAWAY	
(SNG)	MANUF COLOR FINISH PRODUCT	SIGNAGE SHOWN IS FOR REFERENCE ONLY. LANDLORD NOT RESPONSIBLE TO PROVIDE OR INSTALL. SIGNAGE IS BY TENANT		(AWN)	MANUF COLOR FINISH PRODUCT	PPG INDUSTRIES OR SIMILAR (COLOR MATCH) COLOR MATCH HARDIE TRIM COLOR 2-COAT SYSTEM DURANAR COATINGS
				(SH)	MANUF COLOR FINISH PRODUCT	GAF WEATHERED WOOD - TIMBERLINE HD
				(COP)	MANUF COLOR FINISH PRODUCT	METAL-ERA WOODSTOCK BROWN (COLOR MATCH HARDIE TRIM COLOR) .040 ALUMINUM COVERS ANCHOR-TITE COPING
				(GRT)	MANUF COLOR FINISH PRODUCT	WESTERN LIME CORPORATION WESTERN TYPE S PRESLENDED, PIGMENTED, PORTLAND CEMENT/LIME COLORED MASON'S BLEND

**GENERAL NOTES**

- M.J. DESIGNATION STANDS FOR MOVEMENT JOINT LOCATION. JOINT SHALL BE FINISHED WITH BACKER ROD AND SEALANT. SEALANT SHALL MATCH COLOR OF MASONRY UNIT THAT THE JOINT IS LOCATED IN IF JOINTS MAY CONTAIN MORE THAN ONE CALK COLOR. SUBMIT SEALANT SAMPLES TO ARCHITECT FOR APPROVAL.
- SUBSTITUTIONS OF MATERIALS AFTER APPROVAL OF ARCHITECT ONLY. SAMPLES OF SIMILAR QUALITY, COLOR AND STYLE SHALL BE SUBMITTED PRIOR TO MATERIAL SUBSTITUTION. LOCAL MASONRY MATERIALS MAY BE USED WITH ARCHITECT'S APPROVAL.



REVISION DESCRIPTION	DATE	#

Christopher D. Kidd  
AIA, AIA, RIBA

MEMPHIS LABOR ROAD  
P. 382.801.0505 F. 382.801.0510 crk@cdk-ri.com

Medical Office Building for:  
**FRE POISON, LLC**  
Ridgewater Drive  
Polson, Montana 59860

These drawings, as instruments of service, remain the property of the Architect or Engineer. Any changes, publication, or use of any kind is prohibited unless expressly authorized by said party.

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Drafted By: JTP  
Checked By: JTP  
Date Drafted: 7/9/2015  
Project #: 15010-01

**A310**  
WEST & NORTH  
EXTERIOR ELEVATIONS





Tract B  
(C.O.S. 7010)  
(Polson Youth Soccer Assoc., Inc.)

Deed Exhibit 11-1344  
(Polson Youth Soccer Assoc., Inc.)

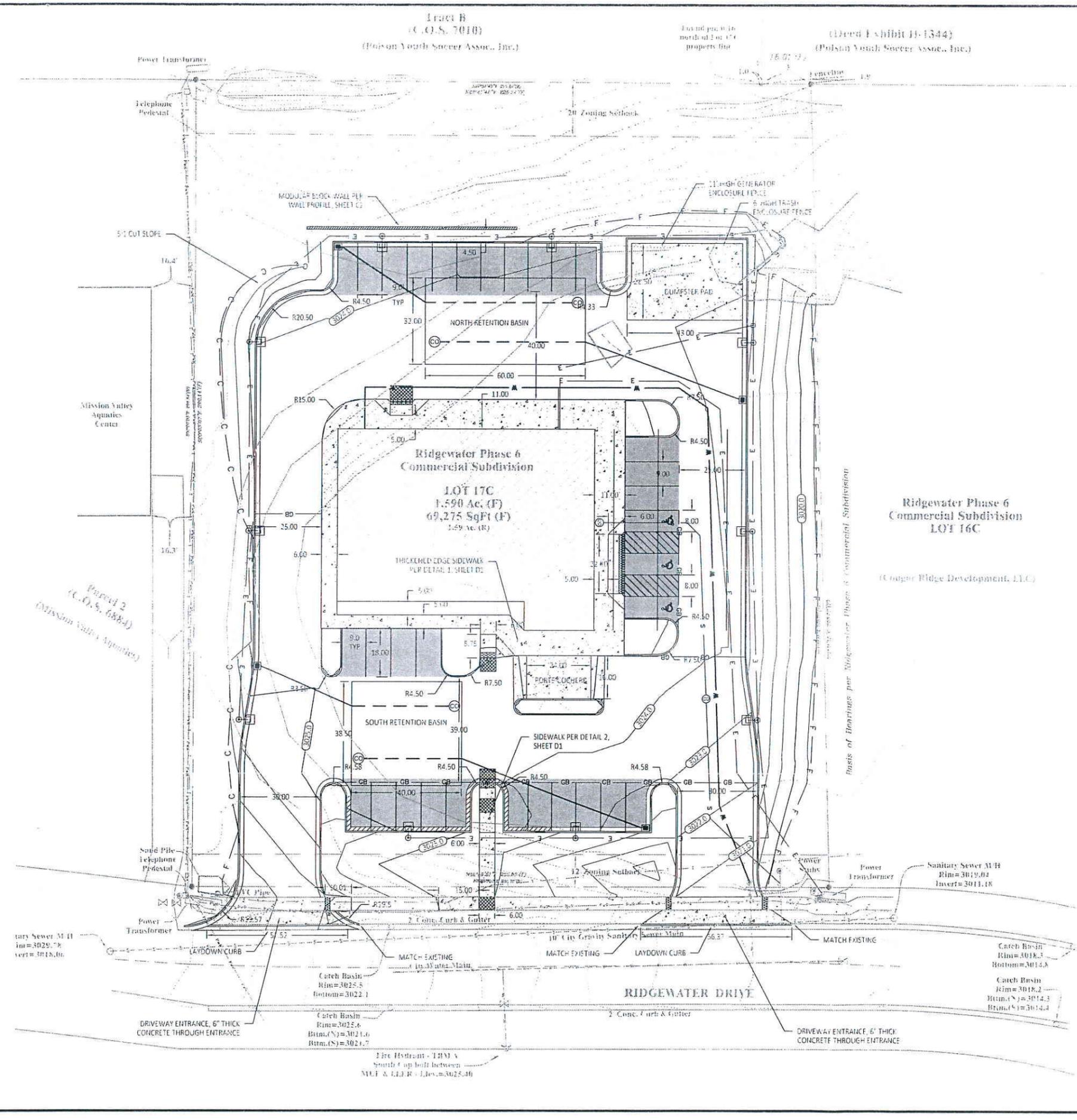
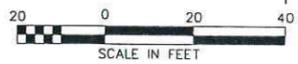
**GENERAL NOTES**

- THIS PLAN HAS BEEN PREPARED FOR THE CONTRACTOR'S CONVENIENCE IN LOCATING, PROTECTING, RELOCATING AND AVOIDING UTILITIES WITH EXISTING UTILITIES. ALL UTILITIES LOCATED ON THIS PLAN ARE BASED UPON FIELD EVIDENCE AS SURVEYED BY SANDY SURVEYING, INC. AND UTILITY RECORDS. THEREFORE, THE INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE IN-FIELD LOCATIONS CALL #11 OF 800-424-5555 TO HAVE UTILITIES LOCATED PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES AS TO WHERE FINAL LOCATION OF UTILITIES SHALL BE LOCATED.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS, UNLESS SPECIFICALLY PROVIDED BY THE CLIENT OR THE CITY OF POLSON STANDARDS.
- ALL ROADWAY PREPARATION AND TRENCHES SHALL BE COMPACTED TO 95% MODIFIED DRY DENSITY AND SHALL BE TESTED IN ACCORDANCE WITH ASTM D693.
- CONTRACTOR SHALL PROVIDE THE CONNECTION TO THE EXISTING WATER SERVICE LINE TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF THE PIPE AND PIPE MATERIAL PRIOR TO PROCEEDING WITH THE CONNECTION.
- SURVEY WAS COMPLETED BY SANDY SURVEYING, INC. PROPERTY LINES SHOWN ARE FOR REFERENCE ONLY. THEREFORE, THEY CANNOT BE GUARANTEED. THE CONTRACTOR IS TO HAVE THE BOUNDARY LINES MARKED IN THE FIELD BY A LICENSED PROFESSIONAL SURVEYOR.

**LEGEND**

- CEMENT CONCRETE CURB AND GUTTER PER CITY OF POLSON STANDARD DETAIL SD-06, SHEET SD1
- CEMENT CONCRETE SPILL CURB AND GUTTER PER CITY OF POLSON STANDARD DETAIL SD-05 (SHEET SD1) TYPED SUCH THAT THE GUTTER HAS A 2% SLOPE AWAY FROM TOP BACK CURB
- TRAFFIC CURB PER CITY OF POLSON STANDARD DETAIL SD-07, SHEET SD1
- SPOT ELEVATION
- SLOPE ARROW
- PROPOSED CATCH BASIN PER CITY OF POLSON STANDARD DETAIL SD-16, SHEET SD1
- HANDICAP PARKING STALL GRADE NOT TO EXCEED 2% IN ANY DIRECTION
- HANDICAP PARKING SIGN
- PROPOSED CONTOUR, 1 FT INTERVAL
- EXISTING CONTOUR, 1 FT INTERVALS
- APPROXIMATE FILL CATCH LINE
- APPROXIMATE CUT CATCH LINE
- CEMENT CONCRETE PAVEMENT
- ASPHALT CONCRETE PAVEMENT PER PARKING SECTION DETAIL 2 SHEET D1
- PARKING PAVEMENT SECTION PER DETAIL 4 SHEET D1
- PROPOSED BUILDING
- TRUNCATED DOME
- LANDING AREA, 2% MAX SLOPE IN ANY DIRECTION
- STORM DRAINAGE STRUCTURE NUMBER
- EXISTING PROPERTY LINE

**PLAN**



PROJECT #	1820-15
DRAWN	KCL
DESIGNED	
CHECKED	
DATE	

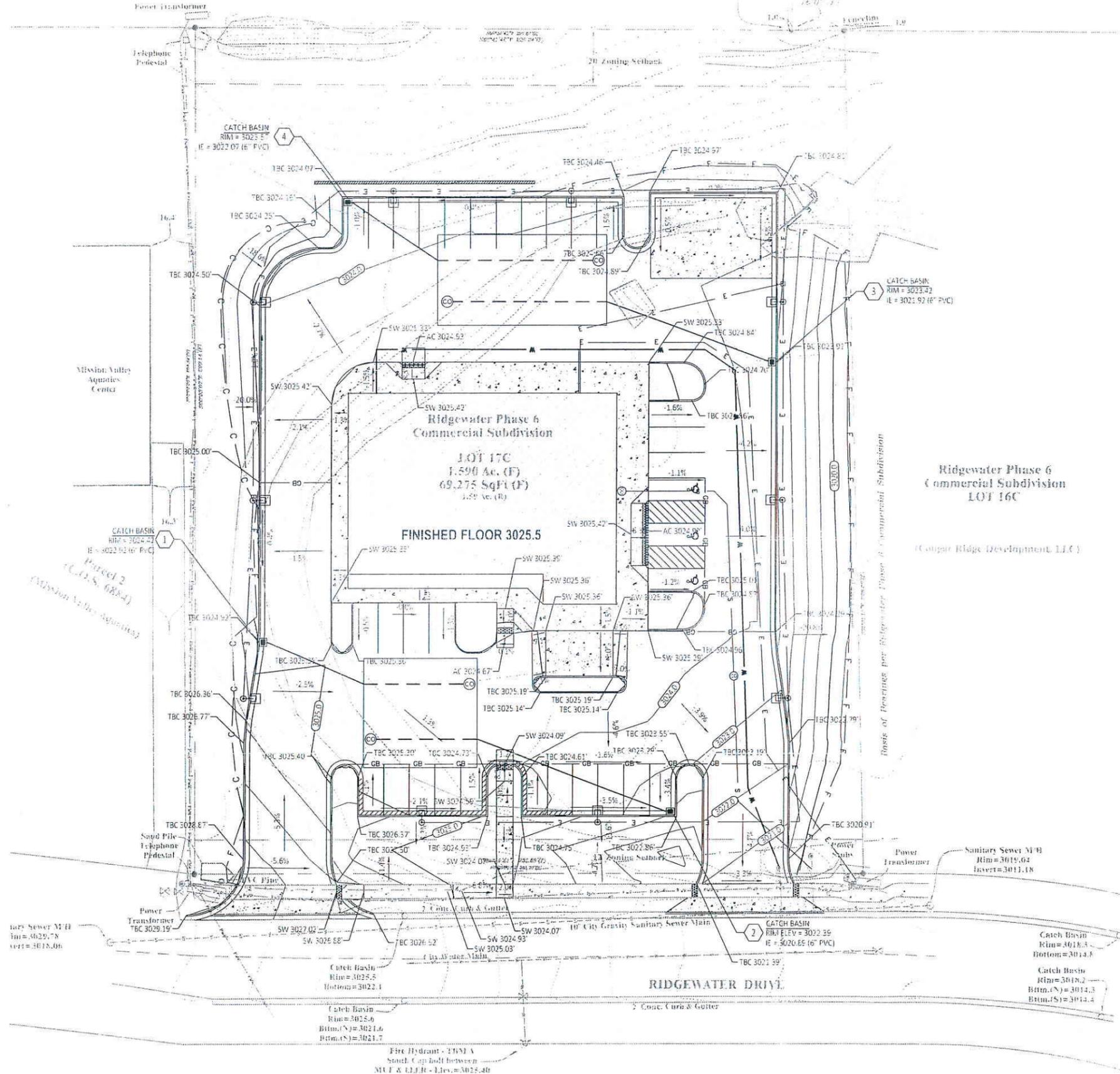
**CHRISTOPHER KIDD & ASSOCIATES**  
 LOT 17C, RIDGEWATER PHASE 6 SITE DEVELOPMENT  
 POLSON MONTANA

Professional Consultants Inc.  
 1705 S. 2ND ST. SUITE C  
 MISSOULA, MONTANA 59701  
 PHONE 406-724-1880  
 FAX 406-724-0275

AUG 2015  
 SITE PLAN  
 C1  
 PRELIMINARY

Tract B  
(C.O.S. 7010)  
(Polson Youth Soccer Assoc., Inc.)

(Deed Exhibit H-1344)  
(Polson Youth Soccer Assoc., Inc.)

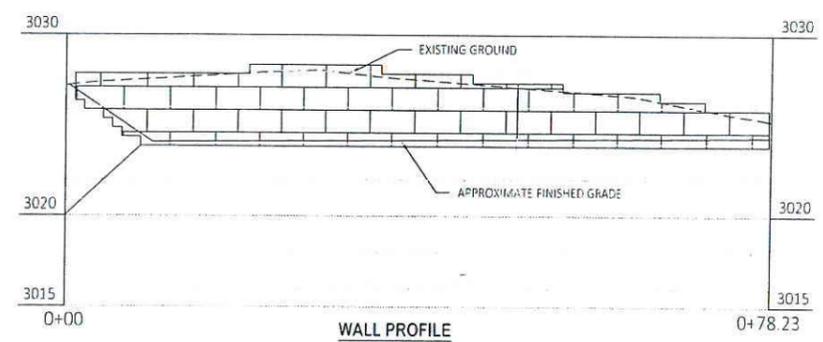
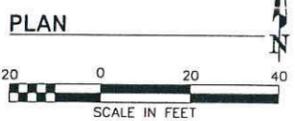


**GENERAL NOTES**

1. THIS PLAN HAS BEEN PREPARED FOR THE CONTRACTOR'S CONVENIENCE IN LOCATING, PROTECTING, RELOCATING AND AVOIDING CONFLICTS WITH EXISTING UTILITIES. ALL UTILITIES LOCATED ON THIS PLAN ARE BASED UPON FIELD EVIDENCE, AS SURVEYED BY SANDY SURVEYING, INC. AND CITY RECORDS. THEREFORE, THE INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE IN-FIELD LOCATIONS, CALL 811 OR 404-555-7461 UTILITIES LOCATED PRIOR TO CONSTRUCTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES AS TO WHERE FINAL LOCATION OF UTILITIES SHALL BE LOCATED.
3. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS, UNLESS SUPERSEDED OR AMENDED BY THE CLERK OF THE CITY OF POLSON STANDARDS.
4. ALL ROADWAY PREPARATION AND TRENCHES SHALL BE CONTRACTED TO 95% MODIFIED DRY DENSITY AND SHALL BE TESTED IN ACCORDANCE WITH ASTM D6938.
5. CONTRACTOR SHALL PATCH THE CONNECTION OF THE EXISTING WATER SERVICE STUB TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF THE PIPE AND PIPE MATERIAL PRIOR TO PROCEEDING FITTINGS FOR THE CONNECTION.
6. SURVEY WAS COMPLETED BY SANDY SURVEYING, INC. PROPERTY LINE SHOWN ARE FOR REFERENCE ONLY. THEREFORE, THEY CANNOT BE GUARANTEED. THE CONTRACTOR IS TO HAVE THE BOUNDARY LINES MARKED IN THE FIELD BY A LICENSED PROFESSIONAL SURVEYOR.

**LEGEND**

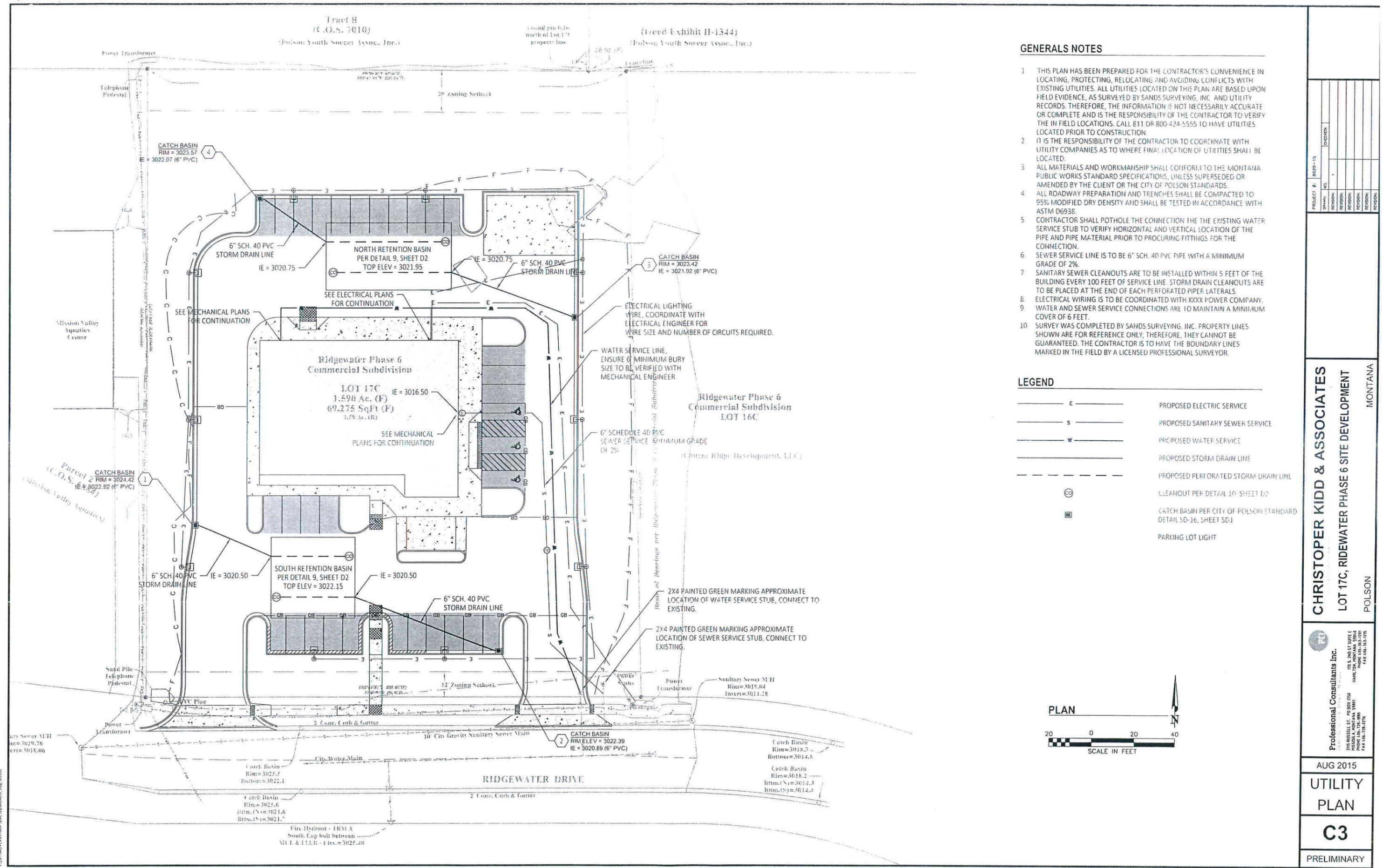
- CEMENT CONCRETE CURB AND GUTTER PER CITY OF POLSON STANDARD DETAIL SD-05, SHEET SD1
- CEMENT CONCRETE SPILL CURB AND GUTTER PER CITY OF POLSON STANDARD DETAIL SD-05 (SHEET SD1) TIPPED SUCH THAT THE GUTTER HAS A 2% SLOPE AWAY FROM TOP BACK CURB
- TRAFFIC CURB PER CITY OF POLSON STANDARD DETAIL SD-07, SHEET SD1
- SPOT ELEVATION
- SLOPE ARROW
- PROPOSED CATCH BASIN PER CITY OF POLSON STANDARD DETAIL SD-16, SHEET SD1
- HANDICAP PARKING STALL, GRADE NOT TO EXCEED 2% IN ANY DIRECTION
- HANDICAP PARKING SIGN
- PROPOSED CONTOUR, 1 FT INTERVAL
- EXISTING CONTOUR, 1 FT INTERVAL
- APPROXIMATE FILL CATCH LINE
- APPROXIMATE CUT CATCH LINE
- CEMENT CONCRETE PAVEMENT
- ASPHALT CONCRETE PAVEMENT PER PARKING SIG. JOB, DETAIL 3, SHEET D3
- PARKING PAVEMENT SECTION PER DETAIL 4, SHEET D3
- PROPOSED BUILDING
- TRUNCATED DOWNS
- LANDING AREA, 2% MAX SLOPE IN ANY DIRECTION
- STORM DRAINAGE STRUCTURE NUMBER
- EXISTING PROPERTY LINE



**CHRISTOPHER KIDD & ASSOCIATES**  
LOT 17C, RIDgewater PHASE 6 SITE DEVELOPMENT  
MONTANA  
POLSON

Professional Consultants Inc.  
175 S. 2ND ST. SUITE C  
POLSON, MONTANA 59101  
PHONE: 406-331-7000  
FAX: 406-331-0515

AUG 2015  
**GRADING PLAN**  
**C2**  
PRELIMINARY

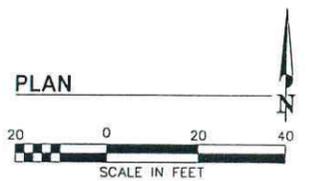


**GENERALS NOTES**

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2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES AS TO WHERE FINAL LOCATION OF UTILITIES SHALL BE LOCATED.
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4. ALL ROADWAY PREPARATION AND TRENCHES SHALL BE COMPACTED TO 95% MODIFIED DRY DENSITY AND SHALL BE TESTED IN ACCORDANCE WITH ASTM D6938.
5. CONTRACTOR SHALL POTHOLE THE CONNECTION THE THE EXISTING WATER SERVICE STUB TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF THE PIPE AND PIPE MATERIAL PRIOR TO PROCURING FITTINGS FOR THE CONNECTION.
6. SEWER SERVICE LINE IS TO BE 6" SCH. 40 PVC PIPE WITH A MINIMUM GRADE OF 2%.
7. SANITARY SEWER CLEANOUTS ARE TO BE INSTALLED WITHIN 5 FEET OF THE BUILDING EVERY 100 FEET OF SERVICE LINE. STORM DRAIN CLEANOUTS ARE TO BE PLACED AT THE END OF EACH PERFORATED PIPER LATERALS.
8. ELECTRICAL WIRING IS TO BE COORDINATED WITH XXXX POWER COMPANY.
9. WATER AND SEWER SERVICE CONNECTIONS ARE TO MAINTAIN A MINIMUM COVER OF 6 FEET.
10. SURVEY WAS COMPLETED BY SANDS SURVEYING, INC. PROPERTY LINES SHOWN ARE FOR REFERENCE ONLY; THEREFORE, THEY CANNOT BE GUARANTEED. THE CONTRACTOR IS TO HAVE THE BOUNDARY LINES MARKED IN THE FIELD BY A LICENSED PROFESSIONAL SURVEYOR.

**LEGEND**

- E — PROPOSED ELECTRIC SERVICE
- S — PROPOSED SANITARY SEWER SERVICE
- W — PROPOSED WATER SERVICE
- — PROPOSED STORM DRAIN LINE
- - - - PROPOSED PERFORATED STORM DRAIN LINE
- ⊙ CLEANOUT PER DETAIL 10, SHEET D2
- ▣ CATCH BASIN PER CITY OF POLSON STANDARD DETAIL SD-16, SHEET SD-1
- PARKING LOT LIGHT

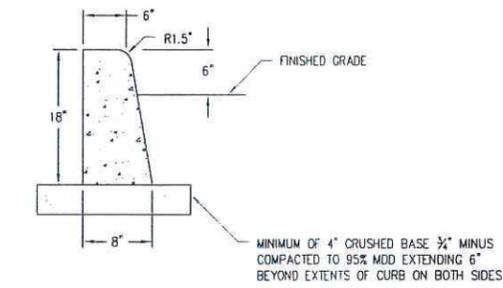


**CHRISTOPHER KIDD & ASSOCIATES**  
 LOT 17C, RIDGEWATER PHASE 6 SITE DEVELOPMENT  
 POLSON MONTANA

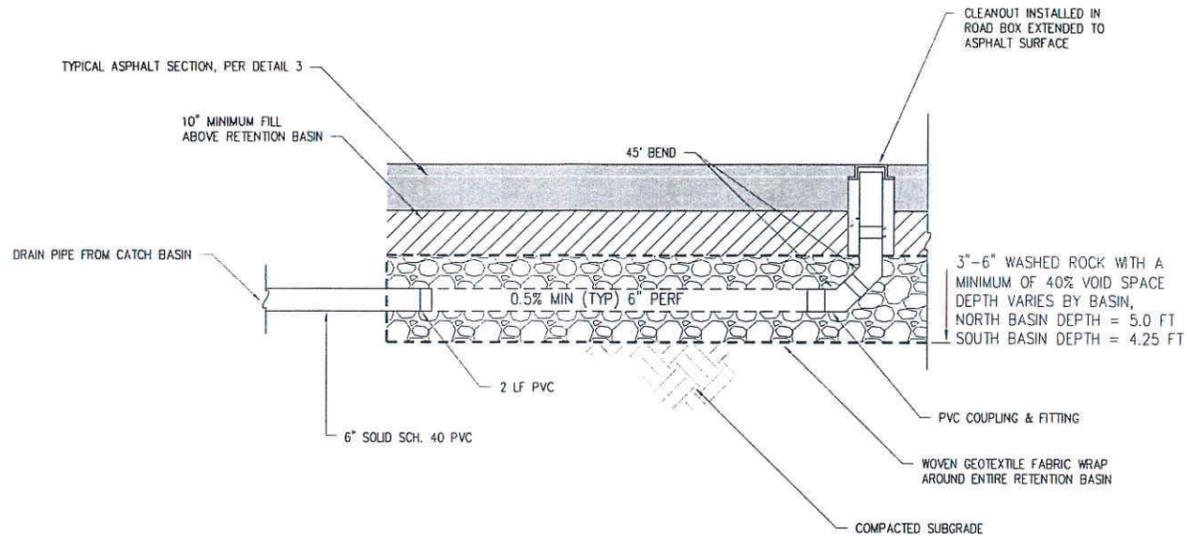
**Professional Consultants Inc.**  
 315 RUSSELL ST. PO BOX 1758  
 MISSOULA, MONTANA 59801  
 TEL: 406-543-1111 FAX: 406-543-1115

AUG 2015  
**UTILITY PLAN**  
**C3**  
 PRELIMINARY

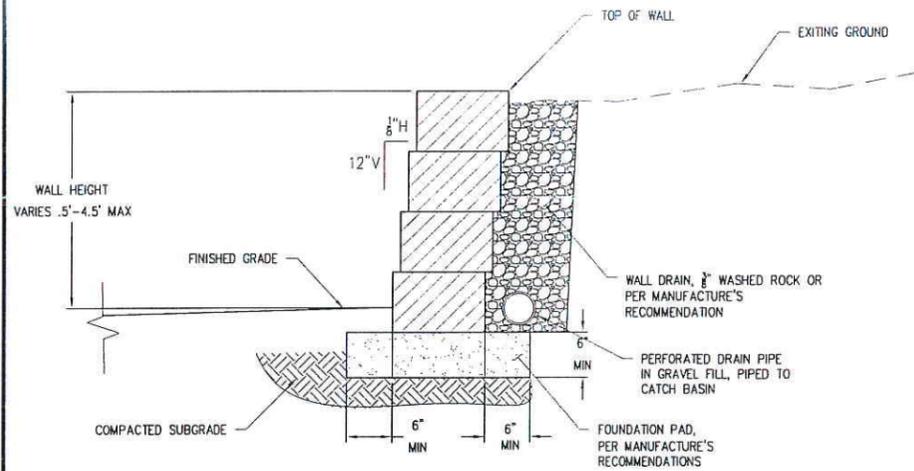
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**TRAFFIC CURB DETAIL** 7  
NTS



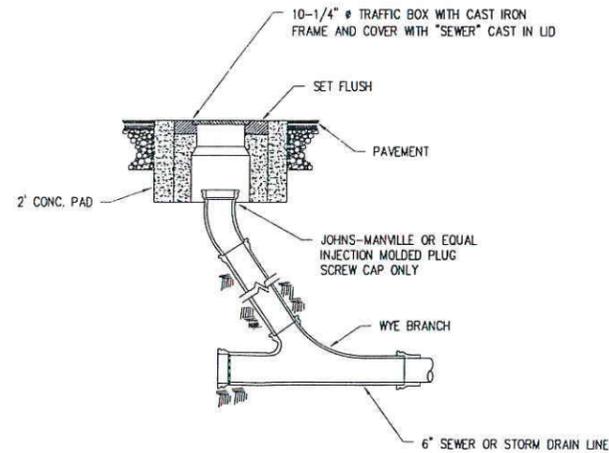
**RETENTION BASIN DETAIL** 9  
NTS



**MODULAR BLOCK WALL GENERAL NOTES**

1. BLOCK WALL SHALL BE STRAIGHT-FACED AND KEYSTONE OR MESA STANDARD BLOCK, OR APPROVED EQUAL. BLOCKS SHALL BE A COLOR FROM MANUFACTURE'S STANDARDS COLORS AND APPROVED BY THE ARCHITECT.

**RETAINING WALL DETAIL** 8  
NTS



**CLEANOUT DETAIL** 10  
NTS

PROJECT #:	RI270-15
DATE:	08/2015
REVISION:	

**CHRISTOPHER KIDD & ASSOC**  
 LOT 17C, RIDEWATER PHASE 6 SITE DEVELOPMENT  
 POLSON MONTANA

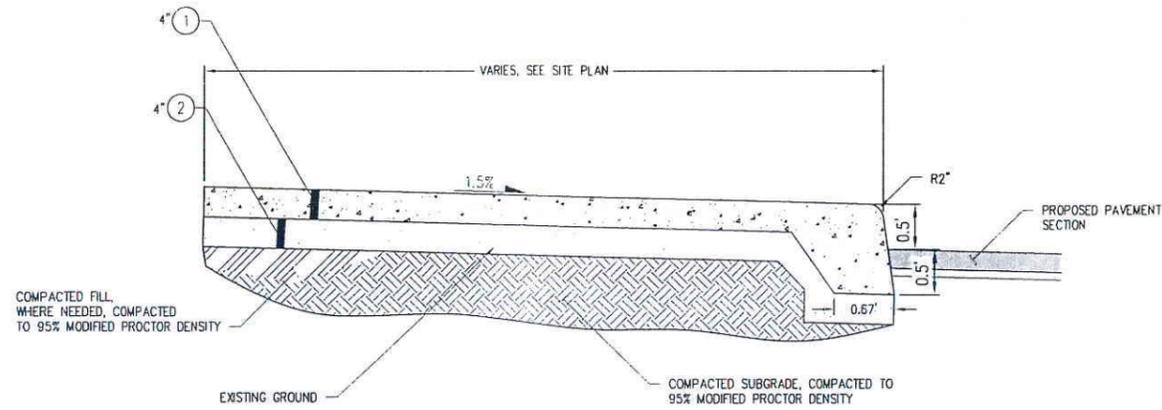
**Professional Consultants Inc.**  
 3115 RUSSELL ST. PO 170 S. 2ND ST SUITE C  
 MISSOULA, MONTANA 59801  
 PHONE 406-728-1880 FAX 406-728-3570

AUG 2015

DETAILS

D2

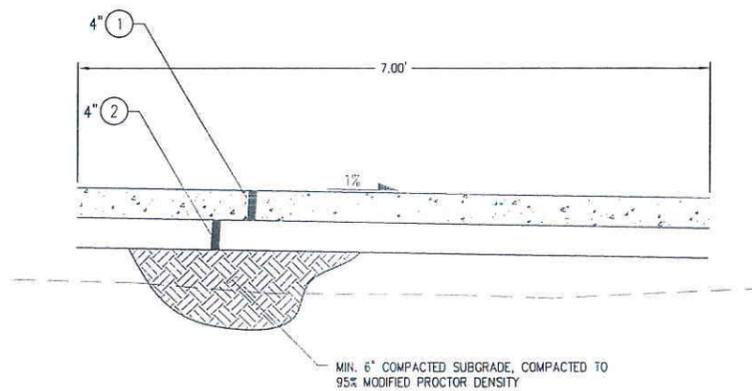
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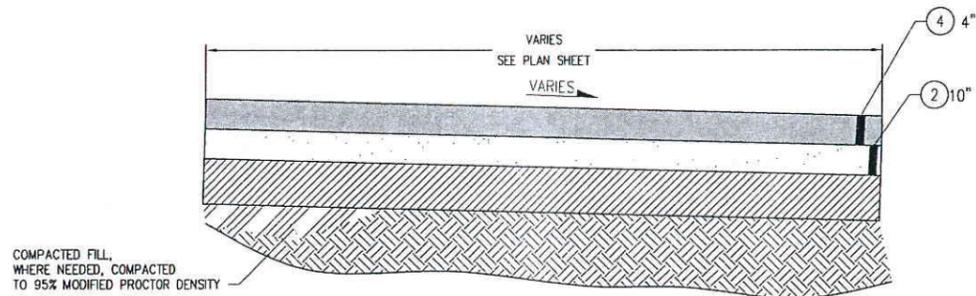
**GENERAL SIDEWALK NOTES:**

1. WHERE REQUIRED THE CONTRACTOR IS TO PROVIDE FILL MATERIAL TO BRING SUBGRADE TO BOTTOM OF CRUSHED BASE COURSE. THE FILL MATERIAL SHALL CONFORM TO SPEC SECTION 02235 OF THE MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS 6TH EDITION

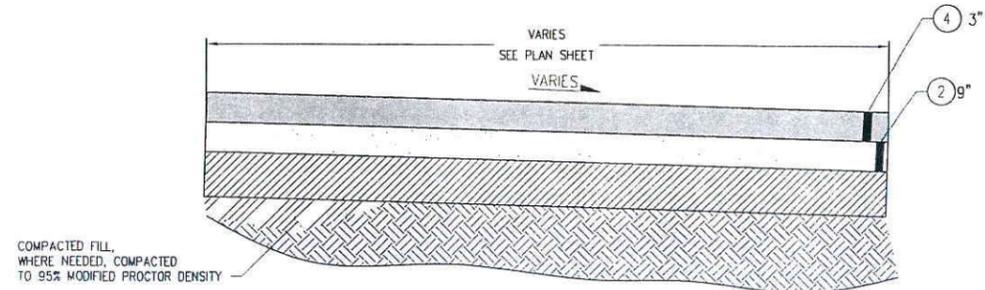
**THICKENED EDGE SIDEWALK SECTION 1**  
NTS



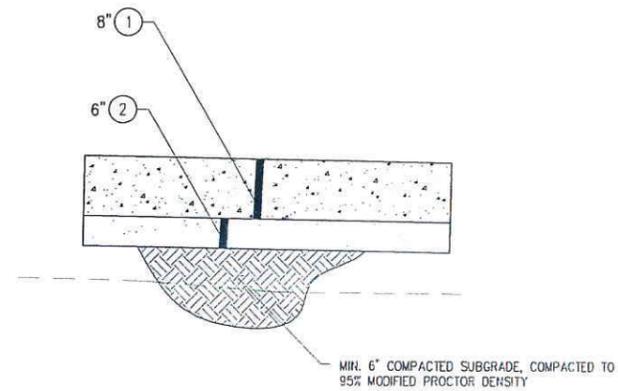
**SIDEWALK SECTION 2**  
NTS



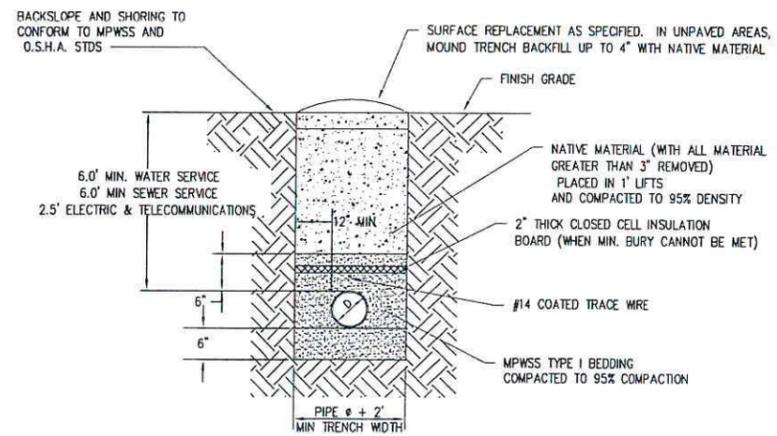
**ASPHALT DRIVING SECTION 3**  
NTS



**ASPHALT PARKING SECTION 4**  
NTS



**DUMPSTER AND PORTE-COCHERE SECTION 5**  
NTS



**TRENCH DETAIL 6**  
NTS

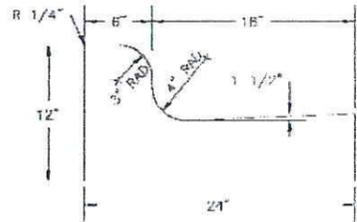
MATERIAL CODE	
1	CEMENT CONCRETE PAVEMENT
2	CRUSHED BASE COURSE
3	CEMENT CONCRETE TYPE "B" CURB
4	HMA TYPE B COMPACTED TO 97% MARSHAL DENSITY
5	CRUSHED BASE COURSE 3" MINUS
6	TOPSOIL

**CHRISTOPHER KIDD & ASSOC**  
LOT 17C, RIDEWATER PHASE 6 SITE DEVELOPMENT  
POLSON MONTANA

Professional Consultants Inc.  
3115 RUSSELL ST. PO 170 S. 2ND ST. SUITE C  
HAMILTON, MONTANA 59801  
PHONE 406-726-1880 FAX 406-726-0520

AUG 2015  
DETAILS  
**D1**  
PRELIMINARY

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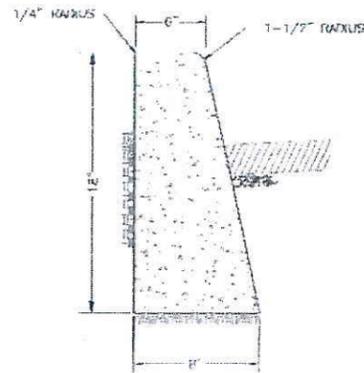


1. 1/2" expansion joint material shall be placed at the P.C. and the P.T. 2. Contraction joints shall be placed at every 12' of curb length and shall have a minimum depth of 3/4" and minimum width of 1/8". Contraction joints shall be constructed by sawing or scoring. A tool shall be used which will leave corners rounded and destroy aggregate interlock for the specified minimum depth. 3. Grade, alignment and forms shall be inspected by the City prior to pouring. 4. Concrete shall be 4000 PSI, 5% to 6% air content with a maximum slump of four (4) inches. 5. Individual contractor forms may vary slightly from this pattern. Patterns which achieve essentially the same result as the above pattern may be approved by the City. 6. Four inches of base material is required. Base material shall be 3/4" crushed gravel compacted to 95% per AASHTO T 99.

CONSTRUCTION STANDARDS  
CITY OF POLSON

STANDARD  
CURB & GUTTER

SD-05

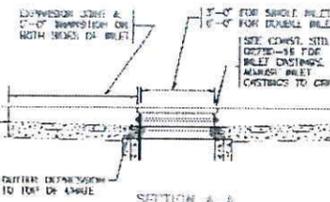
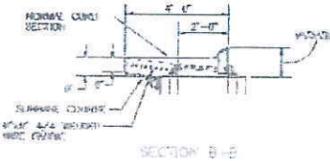
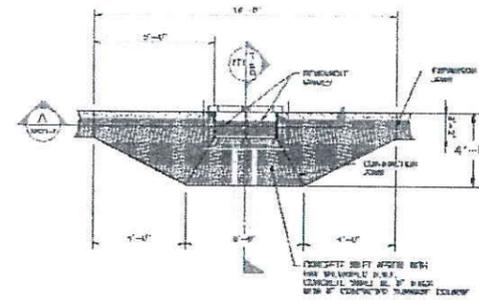


1. 1/2" expansion joint material shall be placed at the P.C. and the P.T., and at 45' maximum spacing. 2. Contraction joints shall be placed at every 12' of curb length and shall have a minimum depth of 3/4" and minimum width of 1/8". Contraction joints shall be constructed by sawing or scoring. When scoring, a tool shall be used which will leave corners rounded and destroy aggregate interlock for the specified minimum depth. 3. Grade, alignment and forms shall be inspected by the City prior to pouring. 4. Concrete shall be 4000 PSI, 5% to 6% air content with a maximum slump of four (4) inches. 5. Individual contractor forms may vary slightly from this pattern. Patterns which achieve essentially the same result as the above pattern may be approved by the City. 6. Four inches of base material is required. Base material shall be 3/4" crushed gravel compacted to 95% per AASHTO T 99. 7. Use of straight curb is restricted to specific application and shall require prior approval from the City Engineer.

CONSTRUCTION STANDARDS  
CITY OF POLSON

STANDARD  
STRAIGHT CURB

SD-07



CONSTRUCTION STANDARDS  
CITY OF POLSON

STANDARD  
INLET & GRATE

SD-16

PROJECT #	RD21-15
DRAWN	KJL
REVISION	1
REVISION	

**CHRISTOPHER KIDD & ASSOC**  
 LOT 17C, RIDEWATER PHASE 6 SITE DEVELOPMENT  
 POLSON MONTANA

Professional Consultants Inc.  
 3015 RUSSELL ST. PO. BOX 170 S. 2ND ST. SUITE C  
 HAMILTON, MONTANA 59804  
 MISSOULA, MONTANA 59804  
 PHONE 406-363-1201  
 FAX 406-728-0276

AUG 2015  
 STD  
 DETAILS  
 SD1  
 PRELIMINARY

**IRRIGATION NOTES:**

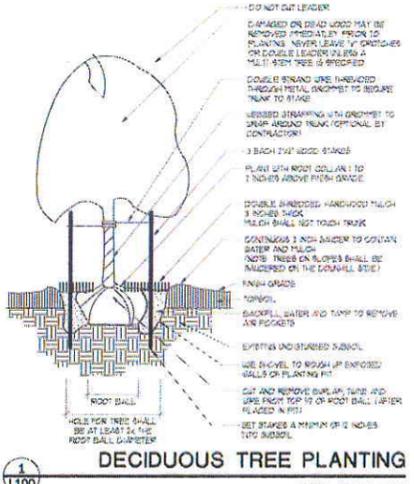
1. ALL EQUIPMENT, MATERIALS AND LABOR NECESSARY FOR A COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE CONSIDERED PART OF THE BID.
2. ALL IRRIGATION PIPING AND SPRING UNDER PAVEMENTS SHALL BE PLACED IN THE SUBSLOPE. IRRIGATION CONTRACTOR SHALL DETERMINE THE SLEEVE LOCATION AND PLACE SLEEVES IN ACCORDANCE WITH THE PLACEMENT OF BASE MATERIAL FOR THE PAVING AREA.
3. ANY TRENCHING FOR SLEEVES WITH NEW PAVING AREAS WHICH RESULTS FROM PREVIOUS PLACEMENT OF SLEEVES OR DUE TO FORESEEABLE CIRCUMSTANCES SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. IT IS NOT TO BE SUBJECT TO ADDITIONAL COSTS TO THE OWNER.
4. IRRIGATION SPRINKLERS SHALL BE PLACED TO SPRAY AWAY FROM ALL WALK DRIVES AND PAVED AREAS OVERLAPPING CURB, PUBLIC ROADS, AND SHALL BE COMPATIBLE WITH LOCAL REGULATIONS PERTAINING TO IRRIGATION IN PUBLIC RIGHT OF WAY.
5. ALL LAWN AREAS SHALL BE SPRAY IRRIGATED AND ALL SUBPERMANENT AREAS SHALL BE Drip IRRIGATED.
6. SEE IRRIGATION SPECIFICATION SECTION 0520 FOR ADDITIONAL INFORMATION.

**GENERAL NOTES:**

1. LOCATE ALL PRIVATE AND PUBLIC UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION OR OPERATIONS.
2. ALL FINISH GRADES TO BE ONE (1) INCH BELOW TOP OF CURBS AND PAVEMENT.
3. FILL PLANTING BEDS TO A MINIMUM DEPTH OF 6 INCHES PRIOR TO PLANTING.
4. TOPDRESS ALL PLANTING BEDS WITH 3 INCHES DOUBLE SHREDED HARDWOOD MULCH. ALL PLANTING BEDS THAT ADJACENT LAWN SHALL HAVE A PLASTIC EDGING.
5. ALL AREAS INDICATED AS BOD SHALL BE SAVED AS SPECIFIED. ALL AREAS QUOTED DURING CONSTRUCTION INCLUDING TRENCHING DISTANCE SHALL BE SAVED. SEE CIVIL PLANS FOR APPROXIMATE LIMITS OF GRADING AND TRENCHING WORK.
6. PLANT QUANTITIES INDICATED IN THE PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. PLANT QUANTITIES SHALL BE DETERMINED BY THE CONTRACTOR, WHEN DISCREPANCIES BETWEEN THE SCHEDULE LISTS AND THE PLAN OCCUR, THE QUANTITY SHOWN ON THE PLAN SHALL BE THE OFFICIAL QUANTITY.
7. REMOVE ALL EXISTING PLANTS, SOIL, ROCKS, MULCH, GRASS, ETC. TO PERMIT THE INSTALLATION OF NEW PLANT MATERIAL.
8. SOD THE LANDSCAPE AREA BETWEEN THE PROPERTY LINE AND STREET CURB WITHIN THE RIGHT OF WAY ADJACENT TO THE PROJECT SITE AS INDICATED. SOD SHALL MATCH THE PROPOSED SOD USED ON THE PROJECT SITE IN ORDER TO BLEND THE TWO AREAS SEAMLESSLY TOGETHER. INSTALL IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION ON ACCORDING TO THE LANDSCAPE INSTALLATION IF THERE ARE NO MUNICIPAL REQUIREMENTS.
9. LIGHT POLES ARE SIGN FOR CONVENIENCE. SEE SITE LIGHTING PLAN FOR OFFICIAL LIGHT POLE LOCATIONS.

**TREE STAKING AND PLANTING NOTES:**

1. STAKING - ONLY TREES THAT ARE UNABLE TO REPAIR UPRIGHT AFTER PLANTING SHALL BE STAKED. TREES WILL RECEIVE STAKES THROUGH THE TOP OF THE TREE TO BE STAKED TO THE GROUND. STAKES SHALL BE PLACED TO THE RIGHT OF THE TRUNK AND ARE TO BE REMOVED EARLY IN THE GROWING SEASON. STAKES SHALL BE CHECKED AT LEAST EVERY THREE MONTHS FOR BENDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
2. PRUNING - CLEANLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
3. PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK OR CRACKS OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH, SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
4. WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SHOULD BE WATERED AS BACKFILLING IS DONE SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.



1 DECIDUOUS TREE PLANTING SCALE: NOT TO SCALE

**PLANT SCHEDULE**

CANOPY TREES (INSTALL IN ACCORDANCE WITH DETAIL 1/L100)					
CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANTING SIZE	MATURE SIZE
ACR1	Asar / Freeman / Jaffarshahi	Autumn Blaze Maple	3	2" Cal. B&B	H: 40' W: 30'
GBAG	Ginkgo biloba / Autumn Gold	Autumn Gold Ginkgo / Male	1	2" Cal. B&B	H: 30' W: 30'
GLTR	Gleditsia triacanthos var. Inermis / Skyline	Skyline Honeylocust	3	2" Cal. B&B	H: 30' W: 30'
QUIL	Quercus alifanensis	Northern Pin Oak	2	2" Cal. B&B	H: 40' W: 30'

ORNAMENTAL TREES (INSTALL IN ACCORDANCE WITH DETAIL 1/L100)					
CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANTING SIZE	MATURE SIZE
AMGAB	Amaranthus / graniflorus / Autumn Brilliance	Autumn Brilliance New Riverberry	2	9" B&B, multi-stem	H: 20' W: 18'
CRCLC	Cotoneaster lauragalis / Crested Cloud	Crested Cloud Hawthorn	3	18" Cal. B&B	H: 20' W: 30'
MAFPR	Malva / Pruning Pine	Pruning Pine Ornamental	4	18" Cal. B&B	H: 20' W: 20'
BYR2S	Byrnia reticulata / Ivory Silk	Ivory Silk Japanese Tree Lilac	3	18" Cal. B&B	H: 20' W: 18'

EVERGREEN TREES (INSTALL IN ACCORDANCE WITH DETAIL 2/L100)					
CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANTING SIZE	MATURE SIZE
PRPLN	Prinos pungens / Hoopla!	Hoopla Blue Spruce	4	6" Tall B&B	H: 30' W: 30'
PRSY	Prinos sylvaticus	Scotch Pine	3	6" Tall B&B	H: 30' W: 30'

EVERGREENS / BROADLEAF EVERGREEN SHRUBS (INSTALL IN ACCORDANCE WITH DETAIL 3/L100)					
CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANTING SIZE	MATURE SIZE
JUN6C	Juniperus horizontalis / Blue Chip	Blue Chip Juniper	9	18" Spread Flat	H: 6' W: 6'
JUNBU	Juniperus sibirica / Buffalo	Buffalo Juniper	9	18" Spread Flat	H: 6' W: 6'
TRUG	Thuja occidentalis / Emerald Green	Emerald Green Arborvitae	6	4" Tall B&B	H: 6' W: 4'

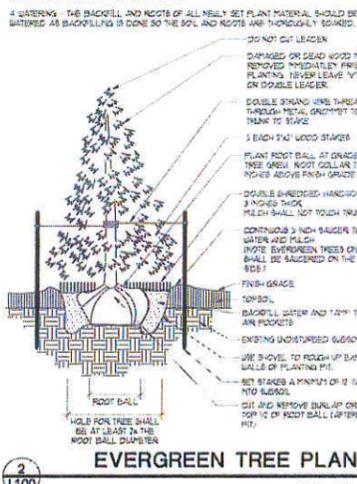
DECIDUOUS SHRUBS (INSTALL IN ACCORDANCE WITH DETAIL 3/L100)					
CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANTING SIZE	MATURE SIZE
PHYDR	Physocarpus opulifolius / Moor	Purple Leaf Ninesark	1	3" Tall B&B	H: 7' W: 9'
POKPR	Potentilla fruticosa / Pink Beauty	Pink Beauty Potentilla	10	18" Tall Flat	H: 4' W: 4'
BRWAL	Boronia x bursifolia / Anthony Waterer	Anthony Waterer Spirea	11	18" Tall Flat	H: 3' W: 4'
BRBET	Boronia betulifolia / Top	Top Spirea	6	18" Tall Flat	H: 3' W: 3'
BRBUB	Boronia x umbellata / Goldflame	Goldflame Spirea	18	18" Tall Flat	H: 3' W: 4'
BYRKL	Byrnia reticulata / Miss Kim	Miss Kim Lilac	3	2" Tall B&B	H: 4' W: 4'
VIDES	Viburnum dentatum / Northern Burgundy	Northern Burgundy Viburnum	4	3" Tall B&B	H: 10' W: 10'

PERENNIALS / GRASSES / VINES					
CODE	SCIENTIFIC NAME	COMMON NAME	QTY	PLANT G. SIZE	SPACING
CAAC	Callandragrostis sudiflora / Karl Foerster	Karl Foerster Feather Reed Grass	48	4" Flat	24" O.C.
HESC	Hemerocallis / Stella de Oro	Stella de Oro Day Lily	18	Quart. Pot.	18" O.C.
LEAL	Hebe x Walker's Low	Walker's Low Camellia	8	Quart. Pot.	24" O.C.
SEAL	Sedum spectabile / Autumn Joy	Autumn Joy Sedum	8	Quart. Pot.	18" O.C.

**EVERGREEN TREE STAKING AND PLANTING NOTES:**

1. STAKING - ONLY EVERGREEN TREES THAT ARE UNABLE TO REPAIR UPRIGHT AFTER PLANTING SHALL BE STAKED. EVERGREEN TREES WILL RECEIVE STAKES THROUGH THE TOP OF THE TREE TO BE STAKED TO THE GROUND. STAKES SHALL BE PLACED TO THE RIGHT OF THE TRUNK AND ARE TO BE REMOVED EARLY IN THE GROWING SEASON. STAKES SHALL BE CHECKED AT LEAST EVERY THREE MONTHS FOR BENDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
2. PRUNING - CLEANLY PRUNE ONLY DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
3. PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK OR CRACKS OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH, SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
4. WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SHOULD BE WATERED AS BACKFILLING IS DONE SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.



2 EVERGREEN TREE PLANTING SCALE: NOT TO SCALE

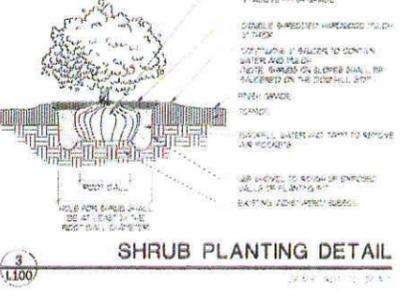
**4 TYPICAL SHREDED HARDWOOD MULCH SECTION**

SCALE: 3/4" = 1'-0"

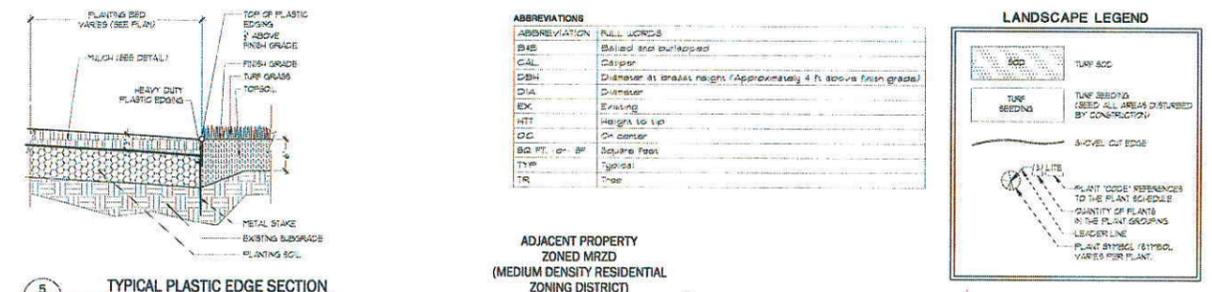
LANDSCAPE BUFFERS			
PROJECT SITE / ZONING	REQUIRED	PROVIDED	
PROJECT SITE / ZONING (HIGHWAY COMMERCIAL ZONING DISTRICT)			
NORTH - HZCD (HIGHWAY COMMERCIAL ZONING DISTRICT)			
EAST - HZCD (HIGHWAY COMMERCIAL ZONING DISTRICT)			
SOUTH - HZCD (HIGHWAY COMMERCIAL ZONING DISTRICT)			
WEST - HZCD (HIGHWAY COMMERCIAL ZONING DISTRICT)			
NORTH BUFFERYARD - 20184 LF			
BUFFER WIDTH	70'	70'	
HEADLIGHT SCREEN	YES	YES	SCREEN & FENCE
SCREENING FENCE OR WALL	YES	YES	6" B&B & 1/2" FENCE
TREES (4 TREES/100 LF)	9 TREES	9 TREES	
EAST AND WEST BUFFERYARDS			
BUFFER WIDTH	NOT REQUIRED	NOT REQUIRED	
HEADLIGHT SCREEN	NOT REQUIRED	NOT REQUIRED	
SCREENING FENCE OR WALL	NOT REQUIRED	NOT REQUIRED	
TREES (4 TREES/100 LF)	NOT REQUIRED	NOT REQUIRED	
SOUTH BUFFERYARD ADJ. TO ROAD - 20876 LF			
BUFFER WIDTH	NOT REQUIRED	NOT REQUIRED	
HEADLIGHT SCREEN	NOT REQUIRED	NOT REQUIRED	
SCREENING FENCE OR WALL	NOT REQUIRED	NOT REQUIRED	
TREES (4 TREES/100 LF)	9 TREES	9 TREES	

**SHRUB PLANTING NOTES:**

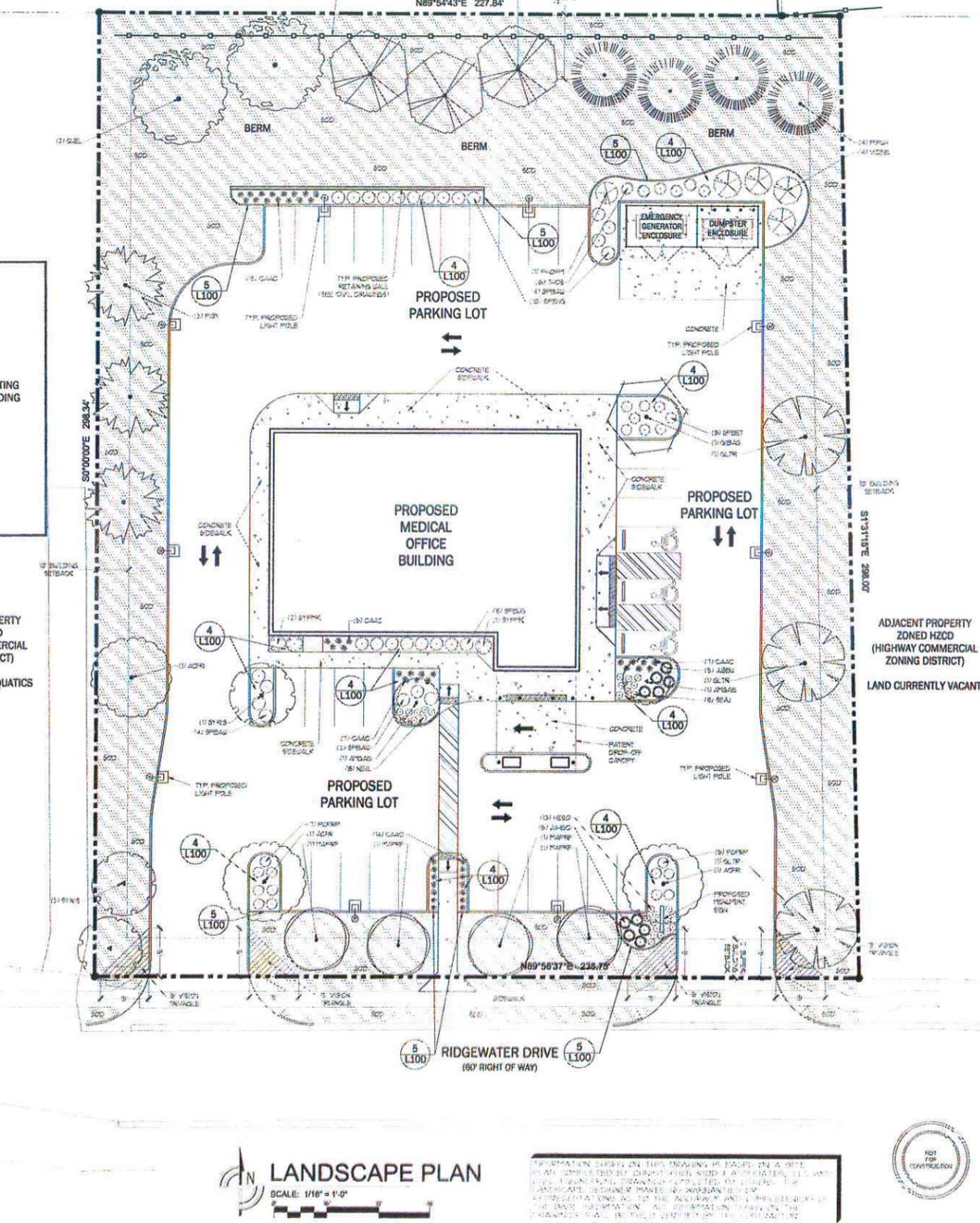
1. PRUNING - CLEANLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.
2. PLANTING - ALL SYNTHETIC MATERIAL SHOULD BE REMOVED FROM THE ROOTS, TRUNK OR CRACKS OF PLANT. SET THE PLANT SO IT WILL BE AT ITS ORIGINAL DEPTH, SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SPECIFIED SOIL MIX.
3. WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SHOULD BE WATERED AS BACKFILLING IS DONE SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.



3 SHRUB PLANTING DETAIL SCALE: NOT TO SCALE



5 TYPICAL PLASTIC EDGE SECTION SCALE: 1" = 1'-0"



LANDSCAPE PLAN SCALE: 1/16" = 1'-0"

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**L100**  
LANDSCAPE PLAN